

REMAX GOLD COAST

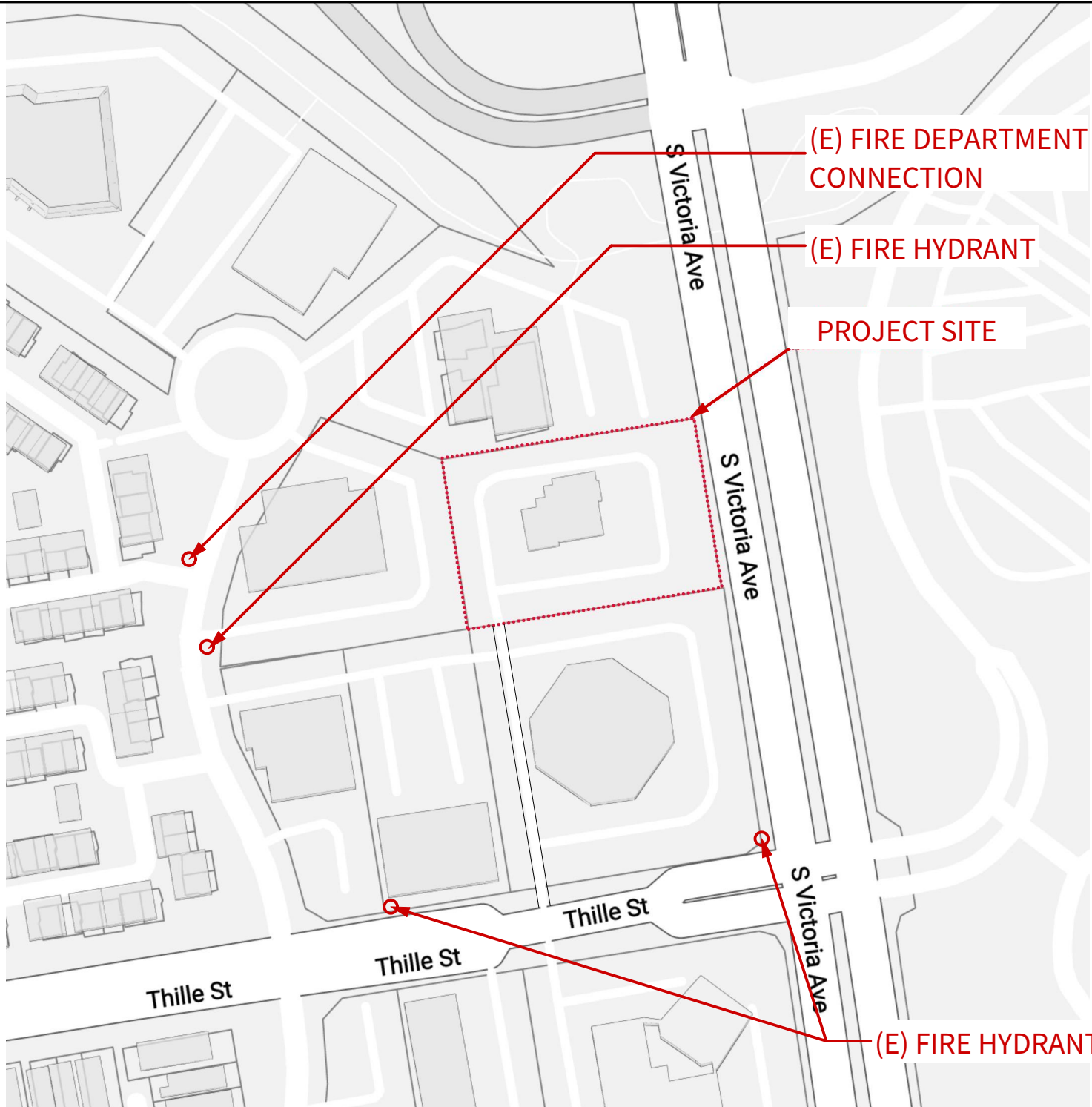
725 S. VICTORIA AVE VENTURA CA 93003

RE/MAX
Gold Coast

725 S. VICTORIA AVE VENTURA CA 93003



VICINITY MAP



PROJECT TEAM

OWNER	MICHAEL SIPES, REMAX GOLD COAST TEL: 805-443-2390 3550 HARBOR BLVD, OXNARD, CA 93035
ARCHITECT	NEST ARCHITECTURE INC CONTACT: KIP KELLY, AIA TEL: (310) 559-9900 FAX: (310) 559-7722 9314 VENICE BLVD, CULVER CITY, CA 90232
SURVEYOR	WM SURVEYS INC CONTACT: WILLIAM L MEAGHER TEL: (805) 677-4850 2747 SHERWIN AVE #12, VENTURA, CA 93003
LANDSCAPE ARCHITECT	STEVEN P. ELLBERG CONTACT: (805) 794-6602
CIVIL ENGINEER	T.B.D.
MEP ENGINEER	T.B.D.

LEGAL DESCRIPTION

LOCATION:	725 S. VICTORIA AVE VENTURA, CA 93003
ASSESSORS #:	# 185019005
LOT AREA:	51,444 SQ. FT. -or- 1.181 ACRES
ZONING:	C2PD
STORIES:	1
SPRINKLERS:	YES
CONST. TYPE:	V
FRONTAGE TYPE:	GRAND LOBBY ENTRY
BUILDING TYPE:	COMMERCIAL BLOCK

SHEET INDEX

ARCHITECTURAL

A1.01	TITLE SHEET / GENERAL INFO
A2.01	EXISTING SITE DEMO PLAN
A2.02	PROPOSED SITE PLAN
A2.03	SITE SURVEY
A2.04	UTILITY PLAN
A3.10	1ST FLOOR DEMO PLAN
A3.11	1ST FLOOR PLAN
A3.20	2ND FLOOR DEMO PLAN
A3.21	2ND FLOOR PLAN
A3.30	ROOF DEMO PLAN
A3.31	ROOF PLAN
A4.01	BUILDING ELEVATIONS (NORTH & WEST)
A4.02	BUILDING ELEVATIONS (EAST & SOUTH)
A5.01	BUILDING SECTIONS
A5.02	BUILDING SECTIONS
A5.03	BUILDING SECTIONS
A5.04	BUILDING SECTIONS
A5.05	BUILDING SECTIONS
A8.04	CITY STANDARD DETAIL
A9.01	RENDERINGS
A9.02	SUN STUDY
A9.03	MATERIAL BOARD

NOTES

Fire Sprinklers to be provided per code P101.3 of San Buenaventura Municipal Code

AREA CALCULATION

AREA (SQ.FT.)	EXISTING	PROPOSED	CHANGE
BUILDING FOOTPRINT	7,144 SQ. FT.	9,506 SQ. FT.	2,362 SQ. FT.
FIRST FLOOR	6,900 SQ. FT.	9,100 SQ. FT.	2,200 SQ. FT.
SECOND FLOOR	1,950 SQ. FT.	4,900 SQ. FT.	2,950 SQ. FT.
TOTAL	8,850 SQ. FT.	14,000 SQ. FT.	5,150 SQ. FT.
PAVED PARKING/WALKWAYS	34,990 SQ. FT.	31,720 SQ. FT.	3,270 SQ. FT.
LANDSCAPE	9,632 SQ. FT.	10,168 SQ. FT.	536 SQ. FT.

PARKING

EXISTING SPACES	103 SQ. FT.
REQUIRED SPACES @1/300 SF	47 SQ. FT.

LANDSCAPE

L.1	(E) LANDSCAPE INVENTORY & DEMOLITION PLAN
L.2	PLANTING PLAN
L.3	IRRIGATION DETAILS & (SHORT FORMAT) SPECS
L.4	IRRIGATION DETAILS & (SHORT FORMAT) SPECS

SURVEY

A2.03	SITE SURVEY
A2.04	UTILITY PLAN

ABBREVIATIONS

ANGLE	GLASS	SLIDING
AT	GLUE LAMINATED	SPECIFICATION
ANCHOR BOLT	GR	SPLASH
ABOVE	GYP BD	SQ
AIR CONDITIONING	HB	ST. STL. S.S.
AREA DRAIN	HC	STANDARD
ADD'L	HD	STD
ADJ	HORIZ	STL
ADJUSTABLE	HOLLOW CORE	STOR
ALUM	HDRWD	SUSP
APPL	HTR	SYM
ASPH	ID	T
	INSUL	T&G
	INT	TA
	JST	T.B.D.
	JOIST	TO
	JOINT	TEL
	LAM	TER
	LAV	THK
	LT	THR
	MAX	TOC
	MANUF.	TV
	M.B.	TW
	MC	UNF
	MECH	UNO
	MTL	VERT
	MICRO	
	MIN	
	MISC	
	MLDG	
	MO	
	MTD	
	MEG	
	NIC	
	NTS	
	OBS	
	OC or O.C.	
	OD	
	O.H.	
	OPNG	
	OPP	
	Q/S	
	PAN	
	PL	
	PLAS	
	LAM	
	PLYWD	
	PR	
	PRHA	
	PT	
	P.T.	
	PTDF	
	RAD	
	RD	
	REF	
	REG	
	REIN	
	REQ'D	
	RESIL	
	RJ	
	RM	
	RR	
	SB	
	SC	
	SD	
	SEC	
	SECT	
	SH	
	SH & DP	
	SH & P	
	SHT	
	SHTG	
	SHWR	
	SIM	

SYMBOLS

REFLECTED CEILING LEGEND

LIGHT SWITCH
3-WAY SWITCH
DIMMER SWITCH
WALL WASHER
RECESSED DOWNLIGHT
CEILING MOUNTED PENDANT
WALL MOUNTED UPLIGHT
FLUORESCENT LIGHT FIXTURE
SPRINKLER HEAD
EMERGENCY LIGHT
SMOKE DETECTOR
CARBON MONOXIDE DETECTOR
COMBINATION CARBON MONOXIDE AND SMOKE DETECTOR
LINEAR SLOT DIFFUSER
SUPPLY DIFFUSER
RETURN GRILL
EXHAUST FAN
EXHAUST FAN/ LIGHT COMBO
TRACK LIGHTING
WALL SCONE
PROJECTION SCREEN (RECESSED)
CEILING HEIGHT
CEILING HEIGHT TRANSITION
EXIT SIGN
THERMOSTAT
HOSE BIBB

POWER/COMMUNICATIONS LEGEND

DUPLEX WALL OUTLET NON STANDARD MTG HT.
WEATHER-PROOF DUPLEX WALL OUTLET (GFI)
GFI RECEPTACLE
QUADRUPLEX WALL OUTLET
DUPLEX WALL OUTLET, 1/2 SWITCHED
DEDICATED QUADRUPLEX WALL OUTLET
DEDICATED WALL OUTLET (SEP. CIRCUIT) SPECIAL
220v RECEPTACLE
DATA OUTLET
TELEPHONE OUTLET
COMBINATION TELEPHONE AND DATA OUTLET
PLUG MOLD, MOUNTING HEIGHT
FLUSH MTD. FLOOR DUPLEX OUTLET
FLUSH MTD. FLOOR QUADRUPLEX OUTLET
FLUSH MTD. FLOOR DATA OUTLET
FLUSH MTD. FLOOR TELEPHONE OUTLET
FLUSH MTD. FLOOR JUNCTION BOX
FLUSH MTD. FLOOR TELE/ DATA OUTLET
CABLE TV OUTLET

CONSTRUCTION LEGEND

DOOR SYMBOL
DOOR NUMBER
WINDOW TAG
ELEVATION DATUM POINT
COLUMN GRID
DETAIL NUMBER
SHEET WHERE SHOWN
AREA TO BE DETAILED
SECTION NUMBER
AREA TO BE DETAILED
SHEET WHERE SHOWN
REVISION AREA
REVISION NUMBER
ELEVATION NUMBER
SHEET WHERE SHOWN

5 S. VICTORIA AVE VENTURA CA 93003

chitecture inc.

752-c willow st.
lebanon
pennsylvania 17046
717 274 pn 9551
fx 9263

EXISTING 1ST LVL

EXISTING 2ND LVL

[illegible]

project number	* PROJECT NUMBER *
----------------	--------------------

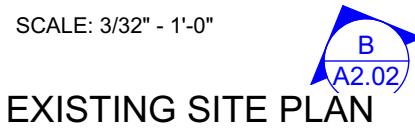
A2.01 EXISTING SITE DEMO PLAN

drawn	KN
-------	----

nth arrow	drawing number
-----------	----------------

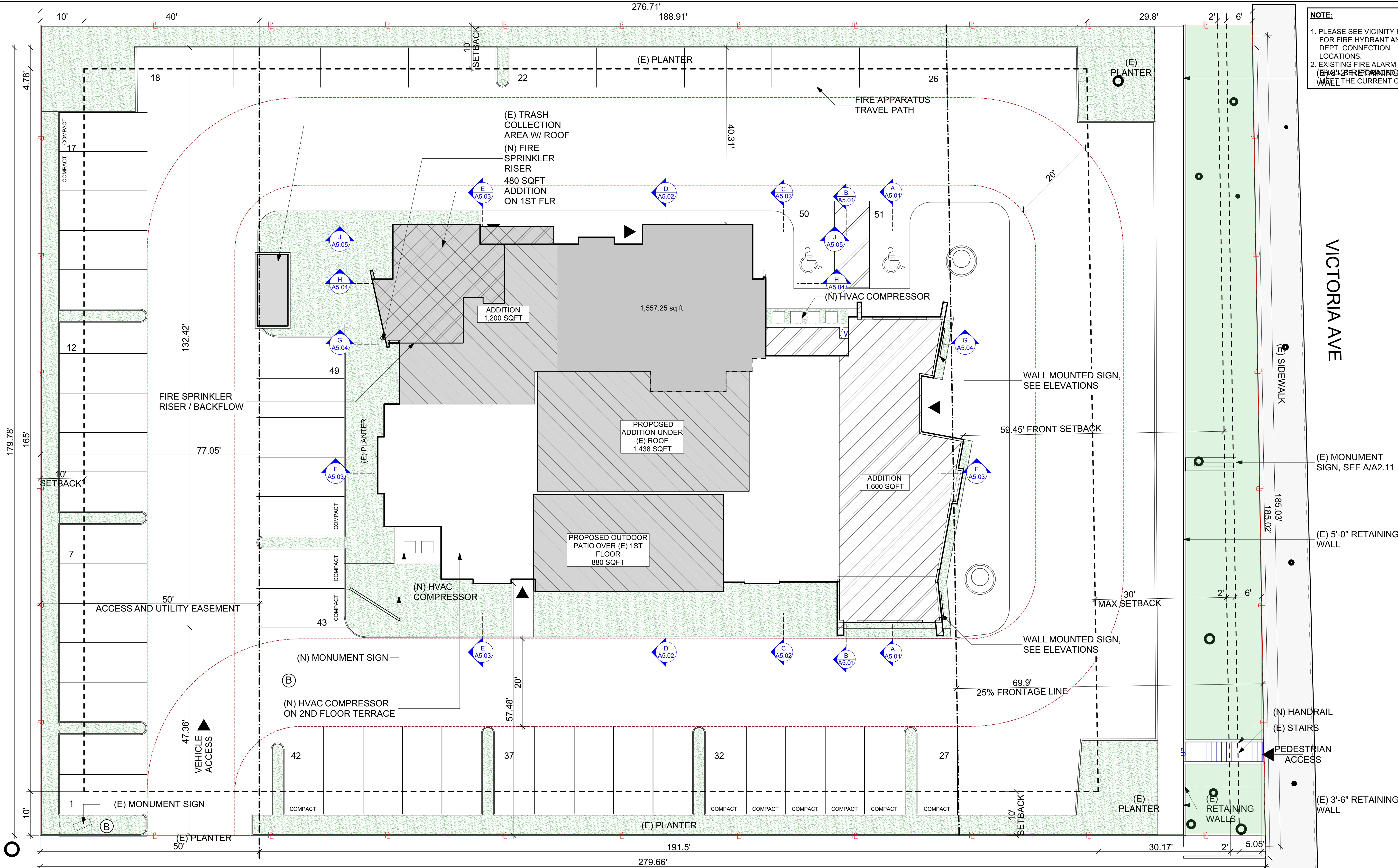


A2.01



1ST FLOOR EXISTING - 6,939 SQFT
2ND FLOOR EXISTING- 1,590 SQFT

D:\nest\REMAX\725 S. Victoria Ave. MASTER.dgn



SITE PLAN

SCALE: 3/32" = 1'-0"

SCOPE OF WORK-

- 1) CONVERT (E) RESTAURANT INTO CORPORATE OFFICES FOR RE/ MAX GOLD COAST
- 2) RENOVATE INTERIOR AND EXTERIOR
- 3) CONSTRUCT APPROX 4,000 SQFT ADDITION & MODIFY EXTERIOR ARCHITECTURE TO CREATE A FRESH CONTEMPORARY LOOK
- 4) RELOCATE MAIN ENTRANCE TO EASTSIDE FACING VICTORIA AVE.
- 5) RE-LANDSCAPE GARDENS W/ DROUGHT TOLERANT PLANTS
- 6) ADD SOLAR ARRAY TO SOUTH FACING ROOF
- 7) PROVIDE (N) SIGNAGE ON STREET

AREA CALCULATIONS

1ST FLOOR EXISTING - 7,000 SQFT
2ND FLOOR EXISTING - 1,550 SQFT
EXISTING TOTAL - 8,520 SQFT
1ST FLOOR ADDITION - 2,235 SQFT
2ND FLOOR ADDITION - 3,030 SQFT
TOTAL ADDITION - 5,295 SQFT

1ST FLOOR TOTAL- 9,235 SQFT
2ND FLOOR TOTAL- 4,580 SQFT
TOTAL - 13,815 SQFT
OUTDOOR PATIO - 800SQFT

LOT COVERAGE - 18.10%

EXISTING PARKING SPACES- 103
REQUIRED PARKING SPACES-
@1/300 SQFT= 47 SPOTS

NOTE:

1. PLEASE SEE VICINITY PLAN FOR FIRE HYDRANT AND FIRE DEPT. CONNECTION LOCATIONS.
2. EXISTING FIRE ALARM SYSTEM BY AULTZ RETAINING TO MEET THE CURRENT CODES.

RE/MAX Gold Coast

725 S. VICTORIA AVE VENTURA CA 93003

nest

architecture inc.

9314 venice blvd.
culver city
california 90232
310 559 pn 9900
fx 7722

752-c willow st.
lebanon
pennsylvania 17046
717 274 pn 9551
fx 9263

legend

- EXISTING 1ST LVL
- NEW ADDITION ON 1ST LVL
- EXISTING 2ND LVL
- NEW ADDITION ON 2ND LVL

issues and revisions

Approved by	Checked by	ISSUE	DATE	ID
KN	KN	PROGRESS PRINT	04/30/2021	01
KN	KN	FIRE APPLICATION	07/15/2021	02
KN	KN	ISSUE FOR PLAN CHECK	11/29/2021	03
KN	KN	PLANNING RESUBMITAL	2/8/2022	04

registration & signature



project: 725 S VICTORIA AVE

project number * PROJECT NUMBER *

description

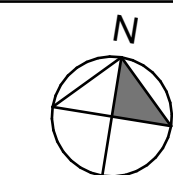
A2.02 PROPOSED SITE PLAN

scale AS NOTED

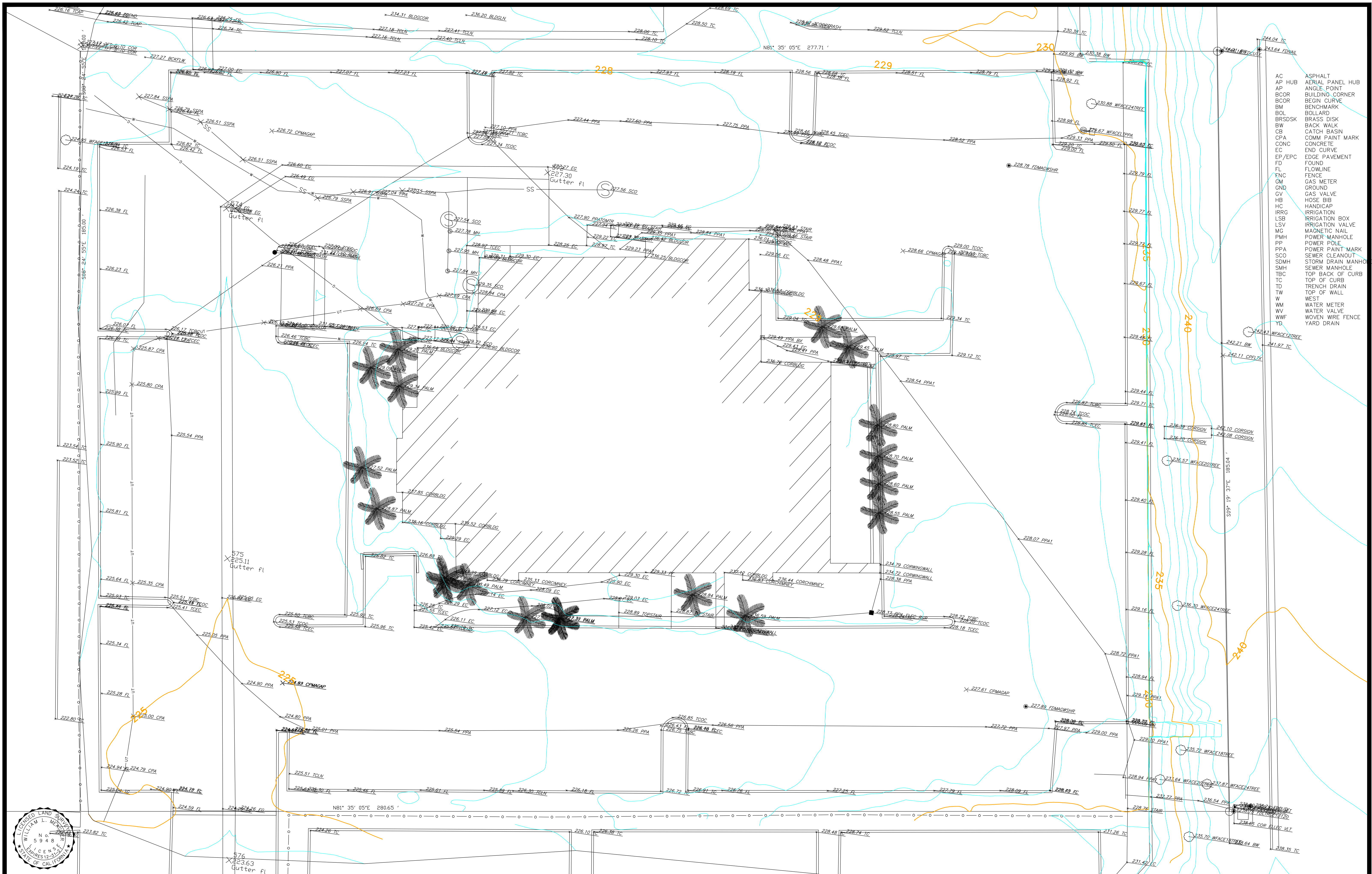
drawn KN

All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used, or disclosed without the written consent of the architect.

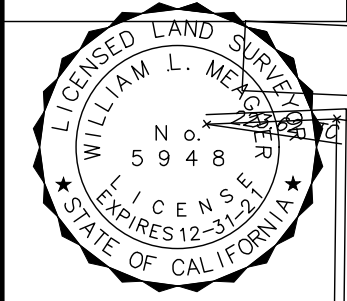
north arrow drawing number



A2.02



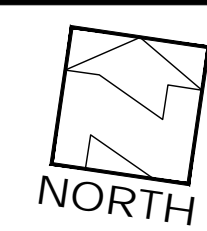
- AC ASPHALT
- AP AERIAL PANEL HUB
- AP ANGLE POINT
- BCOR BUILDING CORNER
- BCOR BEGIN CURVE
- BM BENCHMARK
- BOL BOLLARD
- BRSDSK BRASS DISK
- BW BACK WALK
- CB CATCH BASIN
- CPA COMM PAINT MARK
- CONC CONCRETE
- EC END CURVE
- EP/EPC EDGE PAVEMENT
- FD FOUND
- FL FLOWLINE
- FNC FENCE
- GM GAS METER
- GND GROUND
- GV GAS VALVE
- HB HOSE BIB
- HC HANDICAP
- IRRO IRRIGATION
- LSB IRRIGATION BOX
- LSV IRRIGATION VALVE
- MG MAGNETIC NAIL
- PMH POWER MANHOLE
- PPA POWER PAINT MARK
- SCO SEWER CLEANOUT
- SDMH STORM DRAIN MANHOLE
- SMH SEWER MANHOLE
- TBC TOP BACK OF CURB
- TC TOP OF CURB
- TD TRENCH DRAIN
- TW TOP OF WALL
- W WEST
- WM WATER METER
- WV WATER VALVE
- WWF WOVEN WIRE FENCE
- YD YARD DRAIN



WM SURVEYS INC.
William L. Meagher, LS 5948
2747 Sherwin Ave. #12
Ventura, Ca. 93003 (805)
677-4850

SURVEYOR: WM SURVEYS, INC.
DATE OF SURVEY: (10-26-2021)
CONTOUR INTERVAL = 1 FOOT
DRAWN BY: WM

HORIZONTAL DATUM: NAD 83
VERTICAL DATUM: NAVD 88
BENCHMARK: CHISELED CROSS ON WEST PROLONGATION OF
SOUTHERLY LINE AT COUNTY SQUARE DRIVE, EAST CURB.
ELEVATION = 218.10'



SCALE: 1"=10'
William L. Meagher
Digitally signed by William L. Meagher
DN: cn=William L. Meagher, o=WM Surveys Inc., ou=WM Surveys Inc., email=wm@wmsurveys.com, c=US
Date: 2023.11.01 15:56:00 -0700

725 S. VICTORIA AVE.,
VENTURA, CA
TOPOGRAPHIC MAP

A2.03

- FENCE LINE
—SS— UNDERGROUND SANITARY SEWER
—UP— UNDERGROUND ELECTRIC
—UT— UNDERGROUND TEL/COMM/CATV
—G— UNDERGROUND GAS
—W— UNDERGROUND WATER

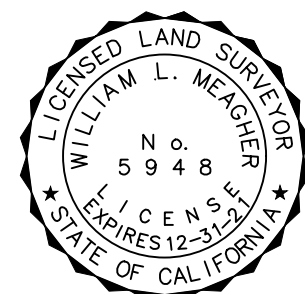
COUNTY SQUARE DR

VICTORIA AVE.

FF=229.33'

50' ACCESS & UTILITY EASEMENT

30' UTILITY EASEMENT



WM SURVEYS INC.
William L. Meagher, LS 5948
2747 Sherwin Ave. #12
Ventura, Ca. 93003 (805)
677-4850

SURVEYOR: WM SURVEYS, INC.
DATE OF SURVEY: (10-26-2021)
CONTOUR INTERVAL = 1 FOOT
DRAWN BY: WM/NS

HORIZONTAL DATUM: NAD 83
VERTICAL DATUM: NAVD 88
BENCHMARK: CHISLED CROSS ON WEST PROLONGATION OF
SOUTHERLY LINE AT COUNTY SQUARE DRIVE, EAST CURB.
ELEVATION = 218.10'



SCALE: 1"=20'

725 S. VICTORIA AVE.
VENTURA, CA
UTILITY PLAN

A2.04

UTILITY PLAN

5 S. VICTORIA AVE VENTURA CA 93003

rchitecture inc.

9314 venice blvd.
culver city
california 90232
310 559 pn 9900
fx 7722

752-c willow st.
lebanon
pennsylvania 17046
717 274 pn 9551
fx 9263

EXISTING WALLS

DEMO

[illegible]

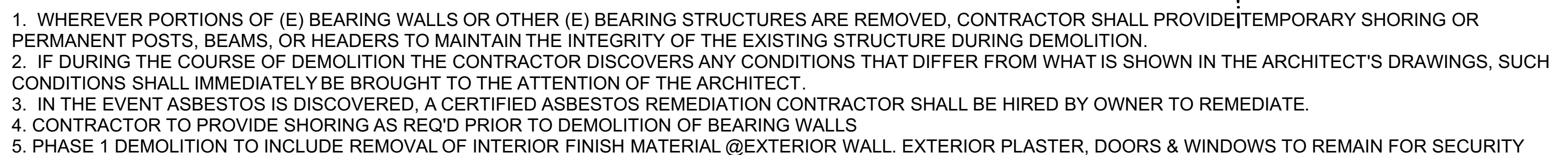
A3.10 1ST FLOOR DEMO PLAN

drawn	KN
-------	----

All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used, or disclosed without the written consent of the architect.

$$N$$

A3.10



SCALE: 3/16" = 1'-0"

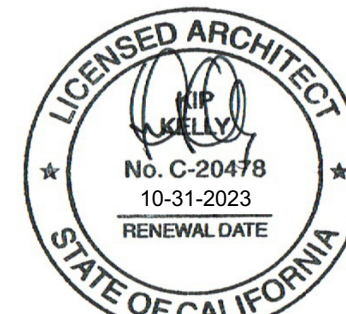
legend

- EXISTING WALLS
DEMO
NEW ADDITION

issues and revisions

DATE	ISSUE	CHECKED BY	APPROVED BY
04/30/2021	PROGRESS PRINT	KN	KP
11/20/2021	ISSUE FOR PLAN CHECK	KN	KP
2/8/2022	PLANNING RESUBMITTAL	KN	KP
01			
03			
04			

registration & signature



project: 725 S VICTORIA AVE

project number

* PROJECT NUMBER *

description

A3.11 1ST FLOOR PLAN

scale

AS NOTED

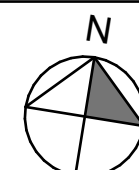
drawn

KN

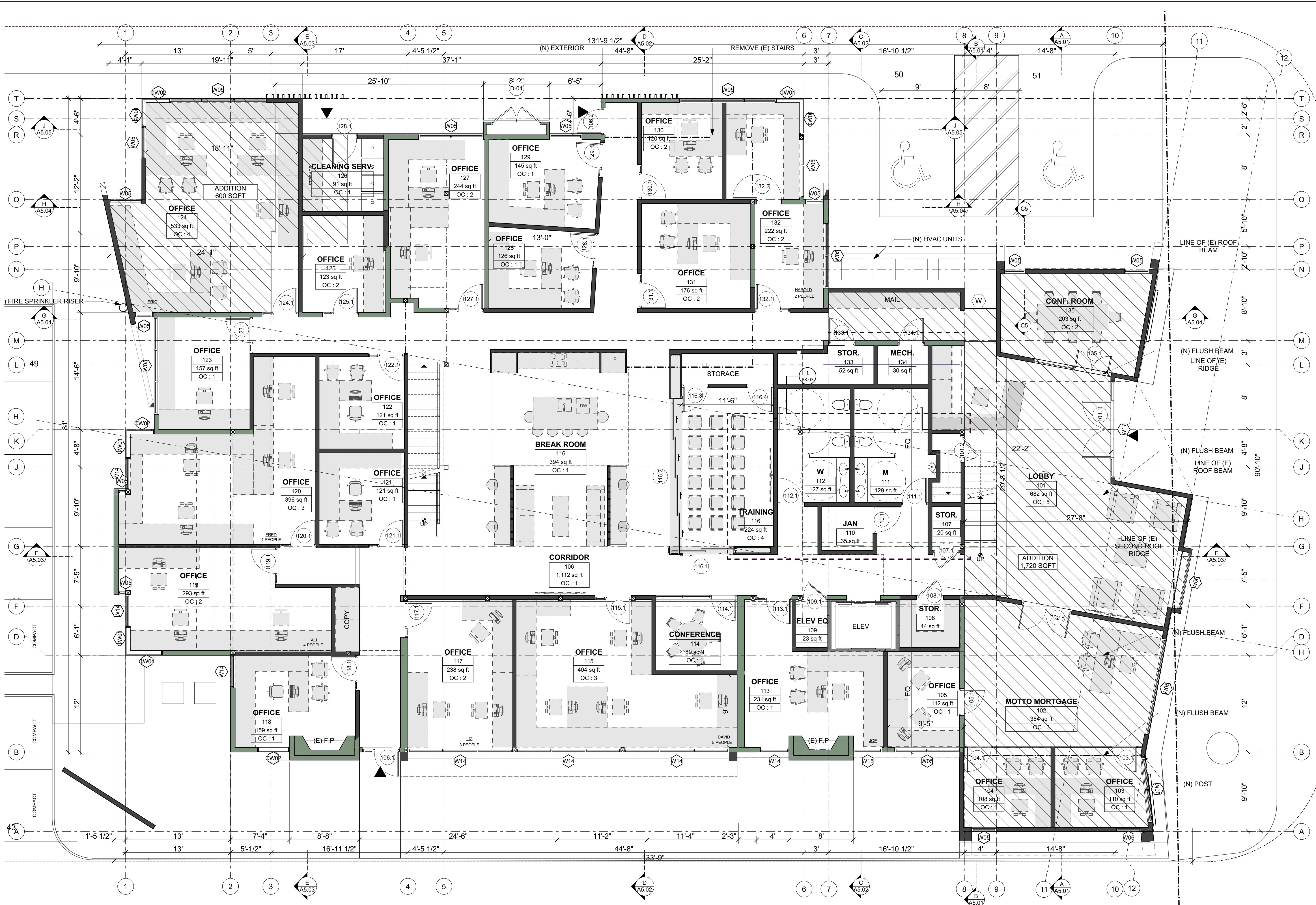
All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used, or disclosed without the written consent of the architect.

north arrow

drawing number



A3.11



FIRST FLOOR PLAN
3/16" = 1'-0"

AREA CALCULATIONS
1ST FLOOR EXISTING - 6,900 SQFT
1ST FLOOR ADDITION - 2,300 SQFT
1ST FLOOR TOTAL- 9,200 SQFT

issues and revisions

[illegible]

Project: 725 S VICTORIA AVE

project number	* PROJECT NUMBER *
----------------	--------------------

description

A3.20 2ND FLOOR DEMO PLAN

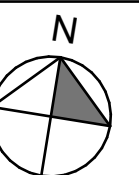
scale	AS NOTED
-------	----------

drawn	KN
-------	----

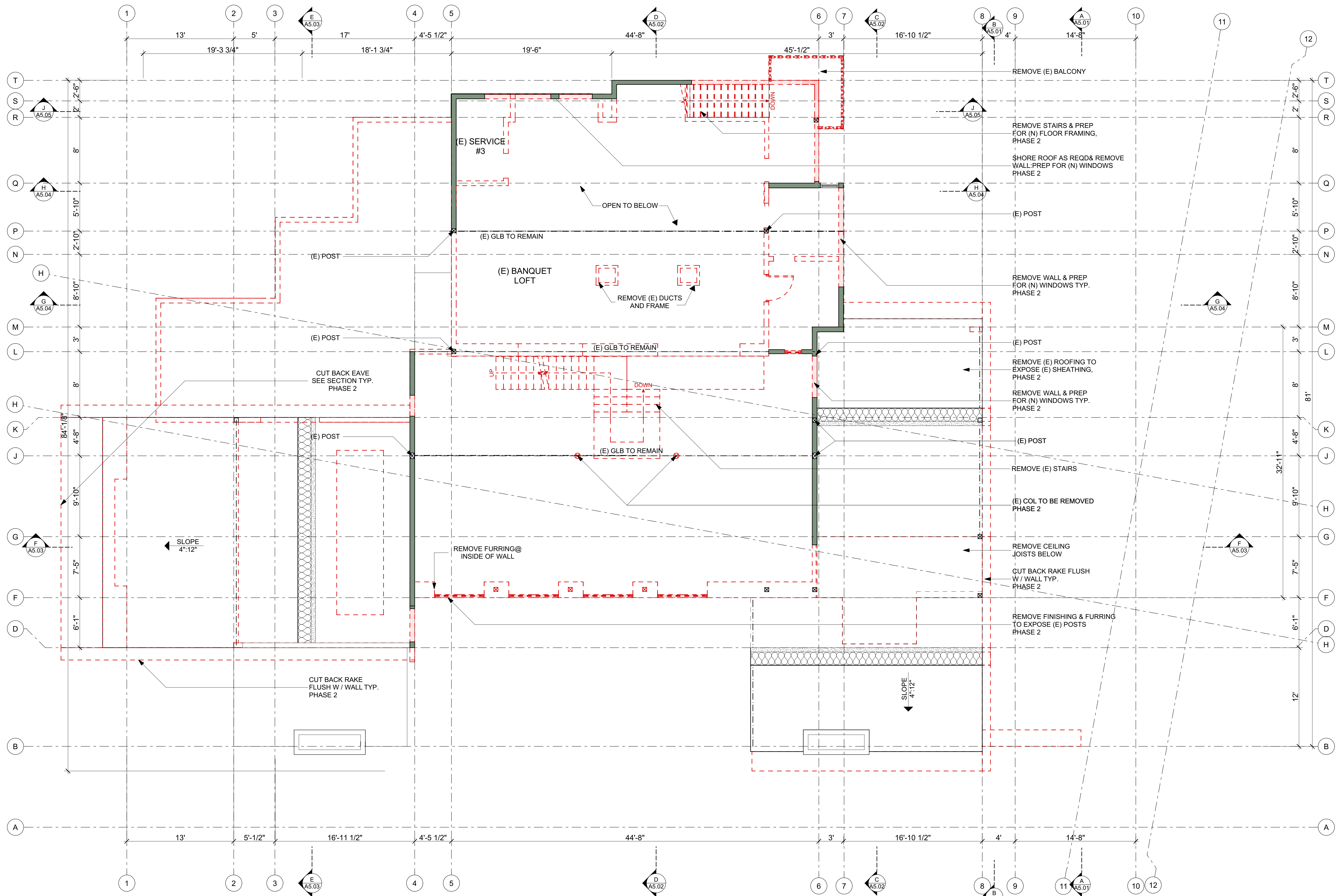
All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used, or disclosed without the written consent of the architect.

north arrow

drawing number



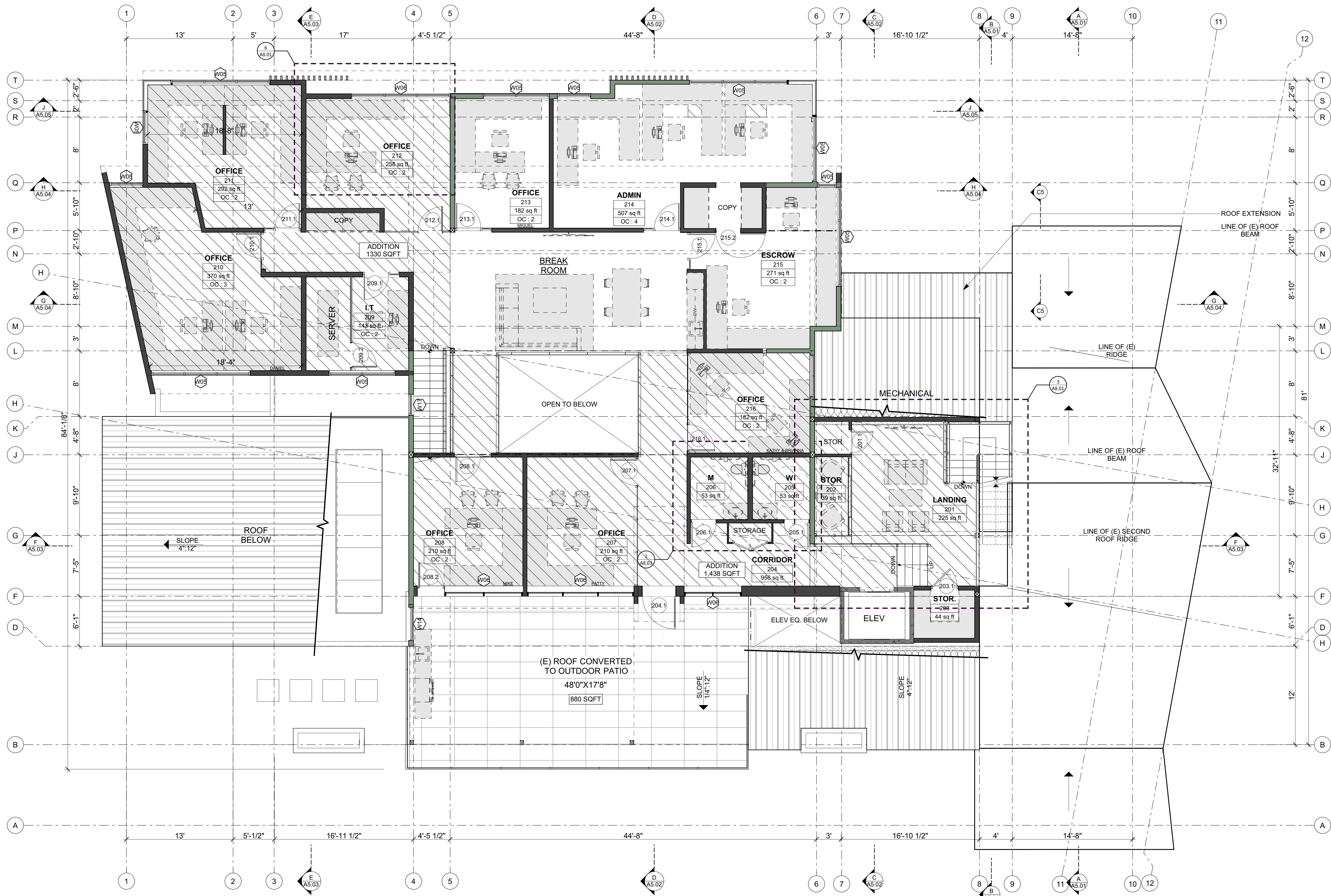
A3.20



DEMOLITION GENERAL NOTES:

1. WHEREVER PORTIONS OF (E) BEARING WALLS OR OTHER (E) BEARING STRUCTURES ARE REMOVED, CONTRACTOR SHALL PROVIDE TEMPORARY SHORING OR PERMANENT POSTS, BEAMS, OR HEADERS TO MAINTAIN THE INTEGRITY OF THE EXISTING STRUCTURE DURING DEMOLITION.
2. IF DURING THE COURSE OF DEMOLITION THE CONTRACTOR DISCOVERS ANY CONDITIONS THAT DIFFER FROM WHAT IS SHOWN IN THE ARCHITECT'S DRAWINGS, SUCH CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
3. IN THE EVENT ASBESTOS IS DISCOVERED, A CERTIFIED ASBESTOS REMEDIATION CONTRACTOR SHALL BE HIRED BY OWNER TO REMEDIATE.
4. CONTRACTOR TO PROVIDE SHORING AS REQ'D PRIOR TO DEMOLITION OF BEARING WALLS
5. PHASE 1 DEMOLITION TO INCLUDE REMOVAL OF INTERIOR FINISH MATERIAL @ EXTERIOR WALL. EXTERIOR PLASTER, DOORS & WINDOWS TO REMAIN FOR SECURITY

D:\nest\REMAX\725 S. Victoria Ave. MASTER.dgn



SECOND FLOOR
3/16" = 1'-0"

AREA CALCULATIONS
2ND FLOOR EXISTING - 1,950 SQFT
2ND FLOOR ADDITION- 2,750 SQFT

2ND FLOOR TOTAL- 4,700

RE/MAX
Gold Coast

725 S. VICTORIA AVE VENTURA CA 93003

nest

architecture inc.

9314 venice blvd.
culver city
california 90232
310 559 pn 9900
tx 7722

752-c willow st.
lebanon
pennsylvania 17046
717 274 pn 9551
fx 9263

legend

- (E) WALLS
- DEMO
- NEW ADDITION
- (N) WALLS

issues and revisions

Approved by	Checked by	ISSUE	DATE	ID
KN	KN	PROGRESS PRINT	04/30/2021	01
KN	KN	ISSUE FOR PLAN CHECK	11/20/2021	03
KN	KN	PLANNING RESUBMITTAL	2/8/2022	04

registration & signature



project: 725 S VICTORIA AVE

project number * PROJECT NUMBER *

description

A3.21 2ND FLOOR PLAN

scale AS NOTED

drawn KN

All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used, or disclosed without the written consent of the architect.

north arrow drawing number

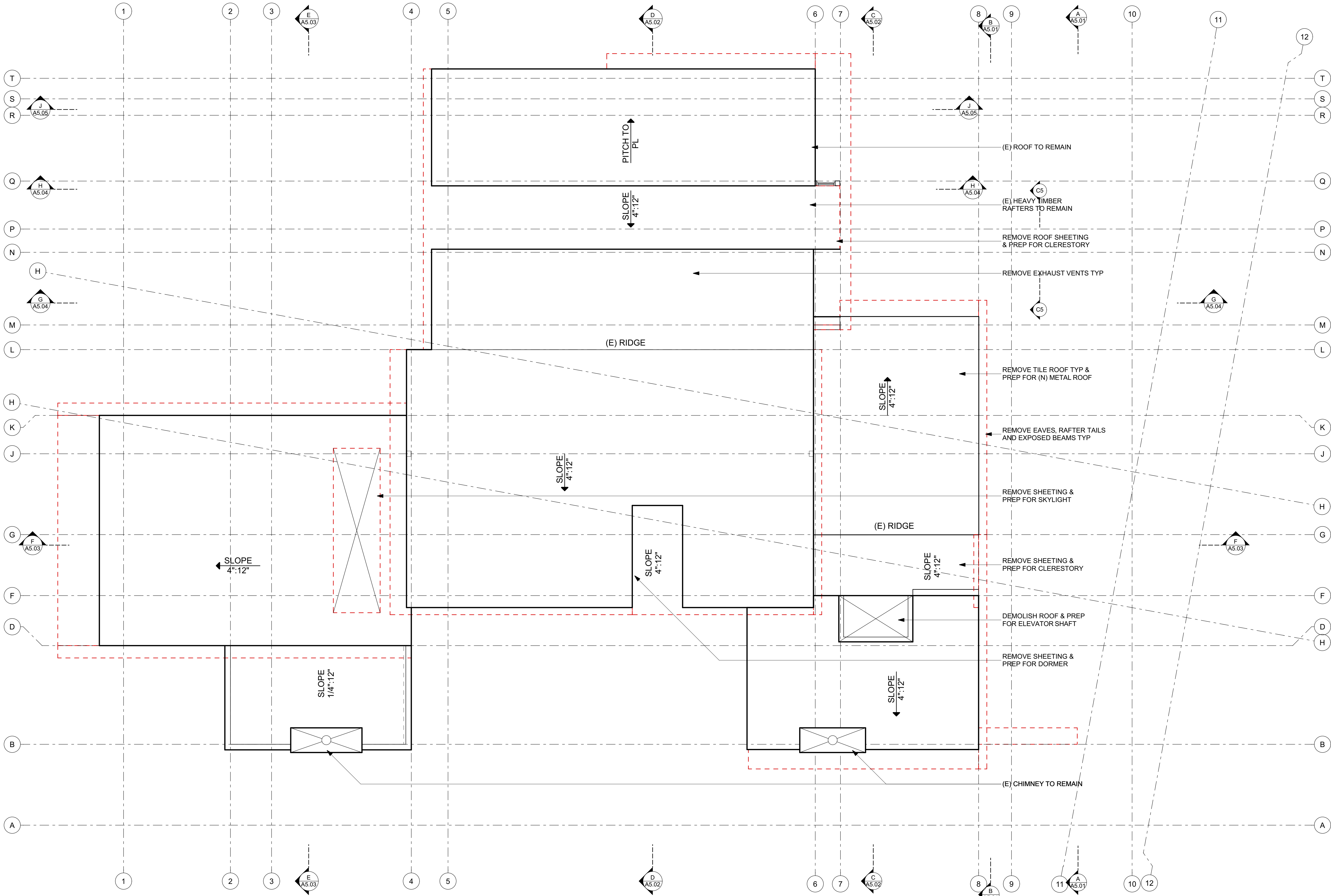


A3.21

D:\nest\REMAX\725 S. Victoria Ave. MASTER.dgn

ROOF DEMOLITION PLAN

SCALE: 3/16" = 1'-0"



DEMOLITION GENERAL NOTES:

- WHEREVER PORTIONS OF (E) BEARING WALLS OR OTHER (E) BEARING STRUCTURES ARE REMOVED, CONTRACTOR SHALL PROVIDE TEMPORARY SHORING OR PERMANENT POSTS, BEAMS, OR HEADERS TO MAINTAIN THE INTEGRITY OF THE EXISTING STRUCTURE DURING DEMOLITION.
- IF DURING THE COURSE OF DEMOLITION THE CONTRACTOR DISCOVERS ANY CONDITIONS THAT DIFFER FROM WHAT IS SHOWN IN THE ARCHITECT'S DRAWINGS, SUCH CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- IN THE EVENT ASBESTOS IS DISCOVERED, A CERTIFIED ASBESTOS REMEDIATION CONTRACTOR SHALL BE HIRED BY OWNER TO REMEDIATE.
- CONTRACTOR TO PROVIDE SHORING AS REQ'D PRIOR TO DEMOLITION OF BEARING WALLS

RE/MAX Gold Coast

725 S. VICTORIA AVE VENTURA CA 93003

nest

architecture inc.

9314 venice blvd.
culver city 90232
california 310 559 pn 9900
tx 7722
752-c willow st.
lebanon pennsylvania 17046
717 274 pn 9551
tx 9263

legend

issues and revisions

Approved by	Checked by	ISSUE	DATE	ID
KP	KN	PLANNING RESUBMITTAL	2/8/2022	04

registration & signature



project: 725 S VICTORIA AVE

project number

* PROJECT NUMBER *

description

A3.30 ROOF DEMO PLAN

scale

AS NOTED

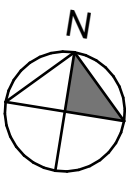
drawn

KN

All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used, or disclosed without the written consent of the architect.

north arrow

drawing number



A3.30

nest

architecture inc.

9314 venice blvd.
culver city 90232
california 310 559 pn 9900
tx 7722
752-c willow st.
lebanon pennsylvania 17046
717 274 pn 9551
tx 9263

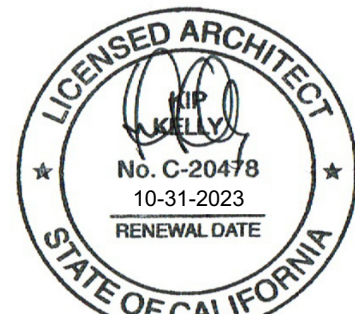
legend

NEW ROOF

issues and revisions

Approved by	KN	KP	KP	KP										
Checked by	KN	KN	KN	KN										
ISSUE	PROGRESS PRINT	ISSUE FOR PLAN CHECK	PLANNING RESUBMITTAL											
DATE	04/30/2021	11/20/2021	2/8/2022											
ID	01	03	04											

registration & signature



project: 725 S VICTORIA AVE

project number * PROJECT NUMBER *

description

A3.31 ROOF PLAN

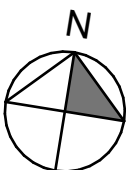
scale AS NOTED

drawn KN

All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used, or disclosed without the written consent of the architect.

north arrow

drawing number

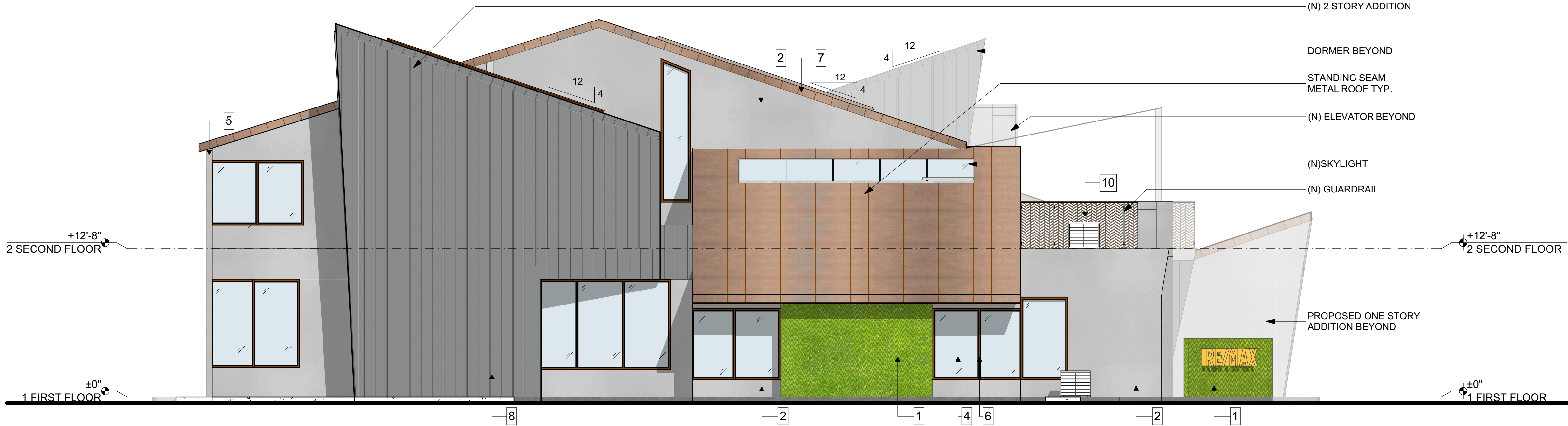


A3.31

D:\nest\REMAX\725 S. Victoria Ave. MASTER.dgn

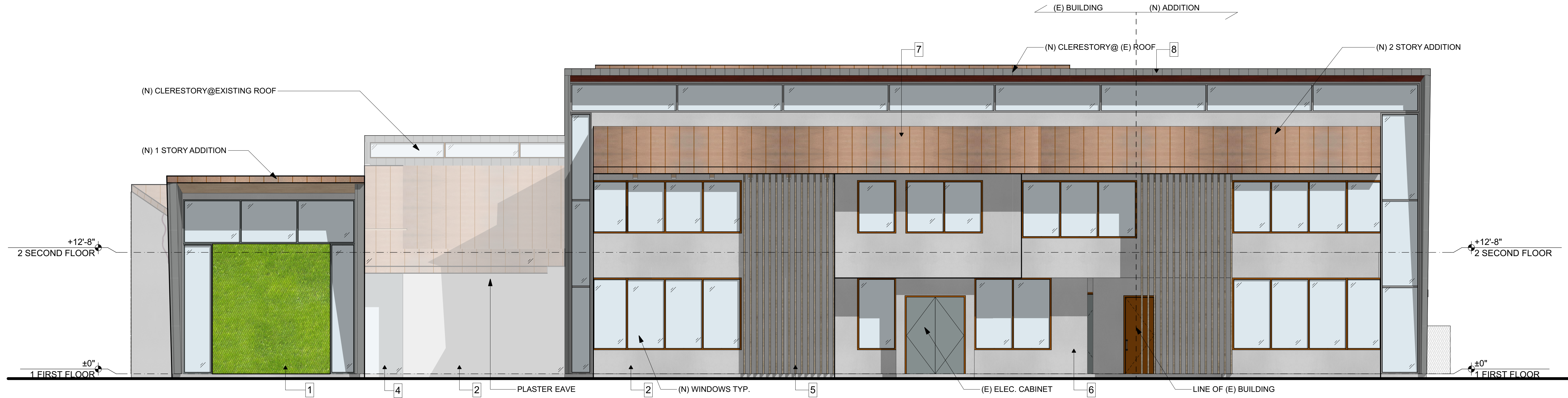
ROOF PLAN

SCALE: 3/16" = 1'-0"



WEST ELEVATION


SCALE: 3/16" = 1'-0"



NORTH ELEVATION

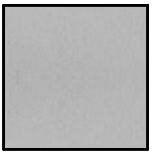
SCALE: 3/16" = 1'-0"

1




GREEN WALL:
RED TRUMPET VINE, SEE
LANDSCAPE PLANS

2



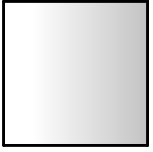
WALLS:
EXTERIOR CEMENT PLASTER
SMOOTH FINISH, COLOR:GRAY

3




WALLS:
EXTERIOR CEMENT
PLASTER W/ REVEALS

4




GLASS:
CLEAR TYP.

5




VERTICAL SCREEN:
STAINED DOUGLAS FIR

6



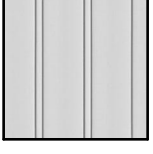
WINDOW & DOOR FRAMES:
DARK BROWN ANODIZED

7




ROOF:
DARK BRONZE STANDING
SEAM METAL

8




SIDING:
CORRUGATED METAL

9



SCREEN:
PERFORATED METAL
O/ STEEL STRUCTURE

10



CANOPY:
TENSILE FABRIC

RE/MAX

Gold Coast

725 S. VICTORIA AVE VENTURA CA 93003

nest

architecture inc.

9314 venice blvd.
culver city
california 90232
310 559 pn 9900
tx 7722

752-c willow st.
lebanon
pennsylvania 17046
717 274 pn 9551
tx 9263


legend

issues and revisions

Approved By	Checked By	ISSUE	DATE	ID						
KN	KN	PROGRESS PRINT	04/30/2021	01						
KN	KN	PRE APPLICATION	07/15/2021	02						
KN	KN	ISSUE FOR PLAN CHECK	11/29/2021	03						
KN	KN	PLANNING RESUBMITTAL	2/8/2022	04						

registration & signature

LICENSED ARCHITECT



STATE OF CALIFORNIA

project: 725 S VICTORIA AVE

project number * PROJECT NUMBER *

description

A4.01 BUILDING ELEVATIONS
(NORTH & WEST)

scale

AS NOTED

drawn

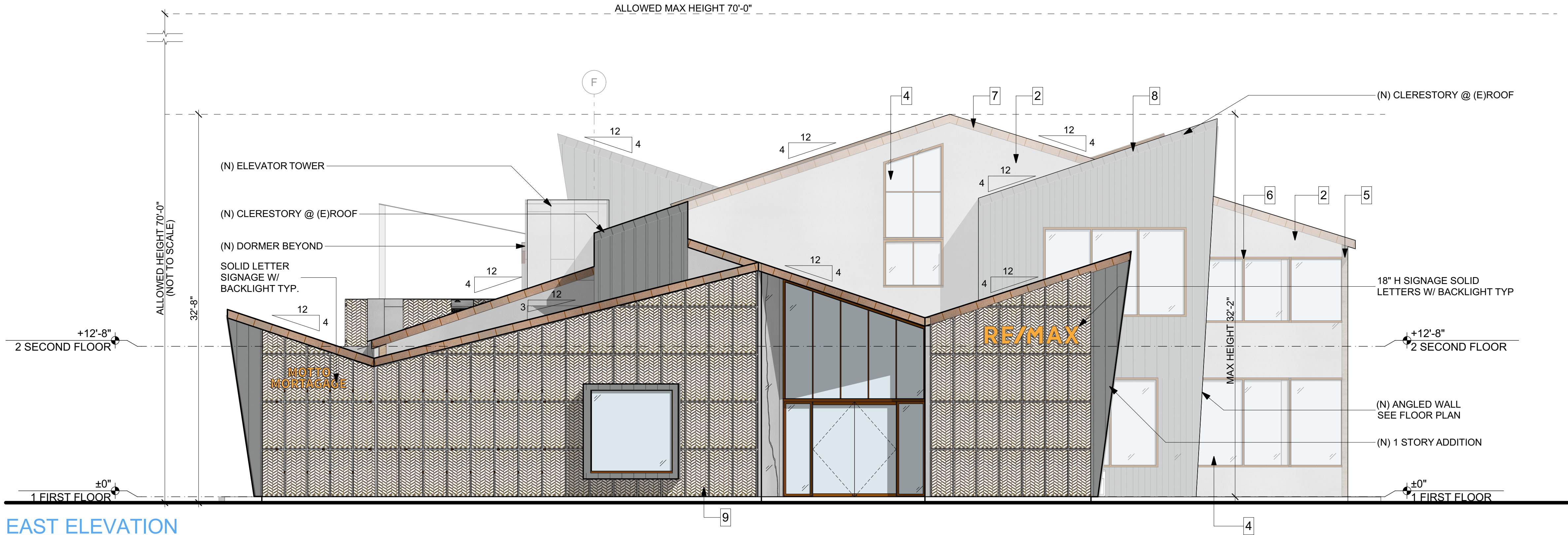
KN

All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used, or disclosed without the written consent of the architect.

north arrow

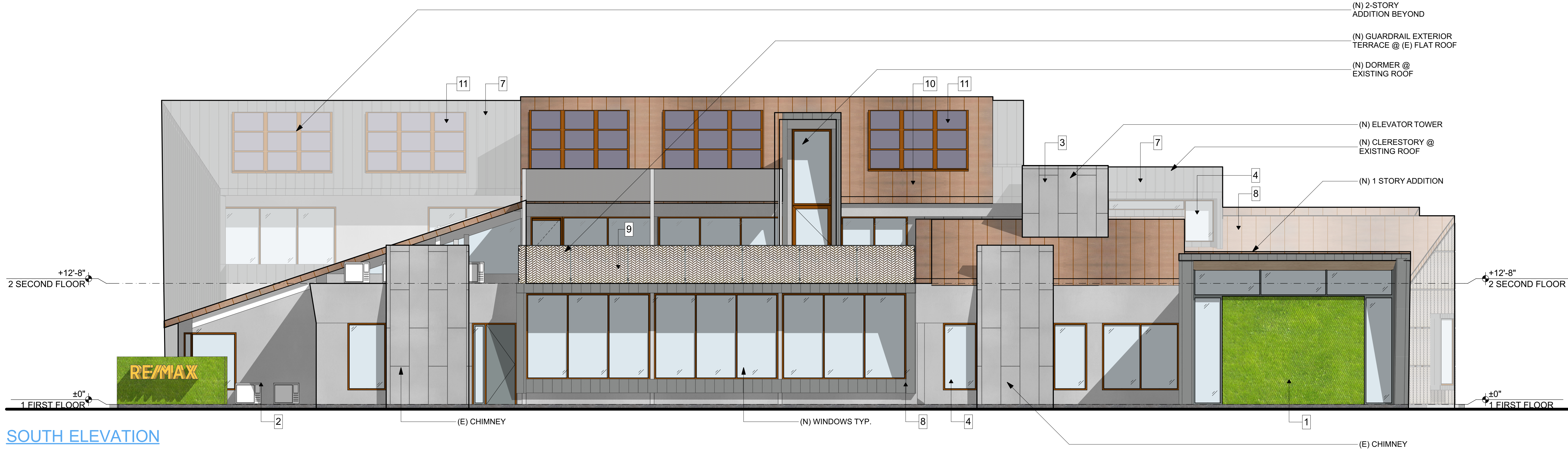
drawing number

A4.01



EAST ELEVATION


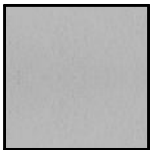

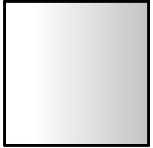



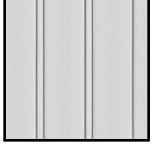


SCALE: 3/16" = 1'-0"



SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

MATERIAL LEGEND

-  **GREEN WALL:**
RED TRUMPET VINE, SEE
LANDSCAPE PLANS
-  **WALLS:**
EXTERIOR CEMENT PLASTER
SMOOTH FINISH, COLOR:GRAY
-  **WALLS:**
EXTERIOR CEMENT
PLASTER W/ REVEALS
-  **GLASS:**
CLEAR TYP.
-  **VERTICAL SCREEN:**
STAINED DOUGLAS FIR
-  **WINDOW & DOOR FRAMES:**
DARK BROWN ANODIZED
-  **ROOF:**
DARK BRONZE STANDING
SEAM METAL
-  **SIDING:**
CORRUGATED METAL
-  **SCREEN:**
PERFORATED METAL
O/ STEEL STRUCTURE
-  **CANOPY:**
TENSILE FABRIC

RE/MAX
Gold Coast

725 S. VICTORIA AVE VENTURA CA 93003

nest

architecture inc.

9314 venice blvd.
culver city california 90232
310 559 pn 9900 fx 7122
752-c willow st.
lebanon pennsylvania 17046
717 274 pn 9551 fx 9263

legend

issues and revisions

Approved By	KN	KP	KP	KP						
Checked by	KN	KN	KN	KN	KN					
ISSUE	PROGRESS PRINT	PRE APPLICATION	ISSUE FOR PLAN CHECK	PLANNING RESUBMITTAL						
DATE	04/30/2021	07/15/2021	11/29/2021	2/8/2022						
ID	01	02	03	04						

registration & signature



project: 725 S VICTORIA AVE

project number * PROJECT NUMBER *

description
A4.02 BUILDING ELEVATIONS
(EAST & SOUTH)

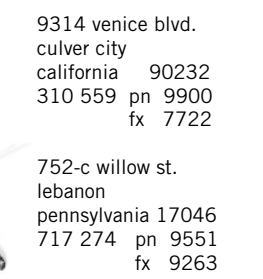
scale AS NOTED

drawn KN

All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used, or disclosed without the written consent of the architect.

north arrow drawing number

A4.02

[illegible]

LICENSED ARCHITECT
 NIP V. JELLY
 No. C-20478
 10-31-2023
 RENEWAL DATE
 STATE OF CALIFORNIA

project: 725 S VICTORIA AVE

project number	* PROJECT NUMBER *
----------------	--------------------

description

A5.01 BUILDING SECTIONS

scale	AS NOTED
-------	----------

drawn	KN
-------	----

All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used, or disclosed without the written consent of the architect.

north arrow	drawing number
-------------	----------------

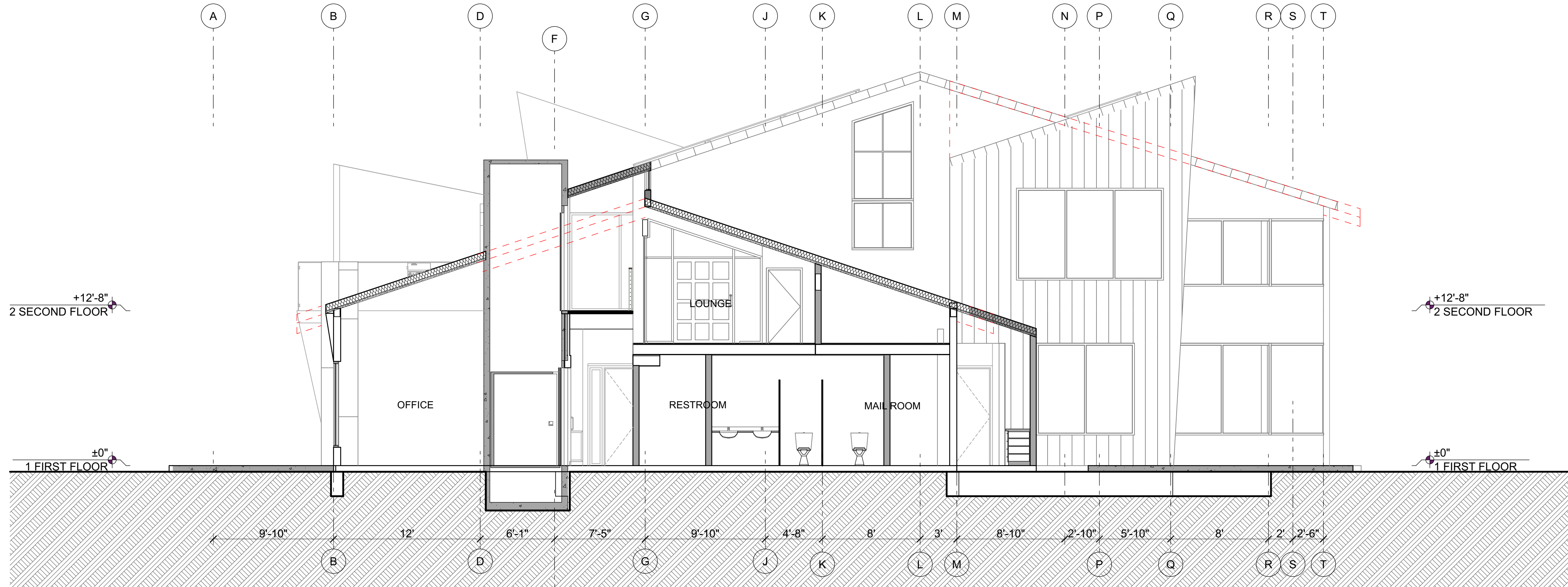
[illegible]



9314 venice blvd.
culver city
california 90232
310 559 pn 9900
fx 7722

752-c willow st.
lebanon
pennsylvania 17046
717 274 pn 9551
fx 9263

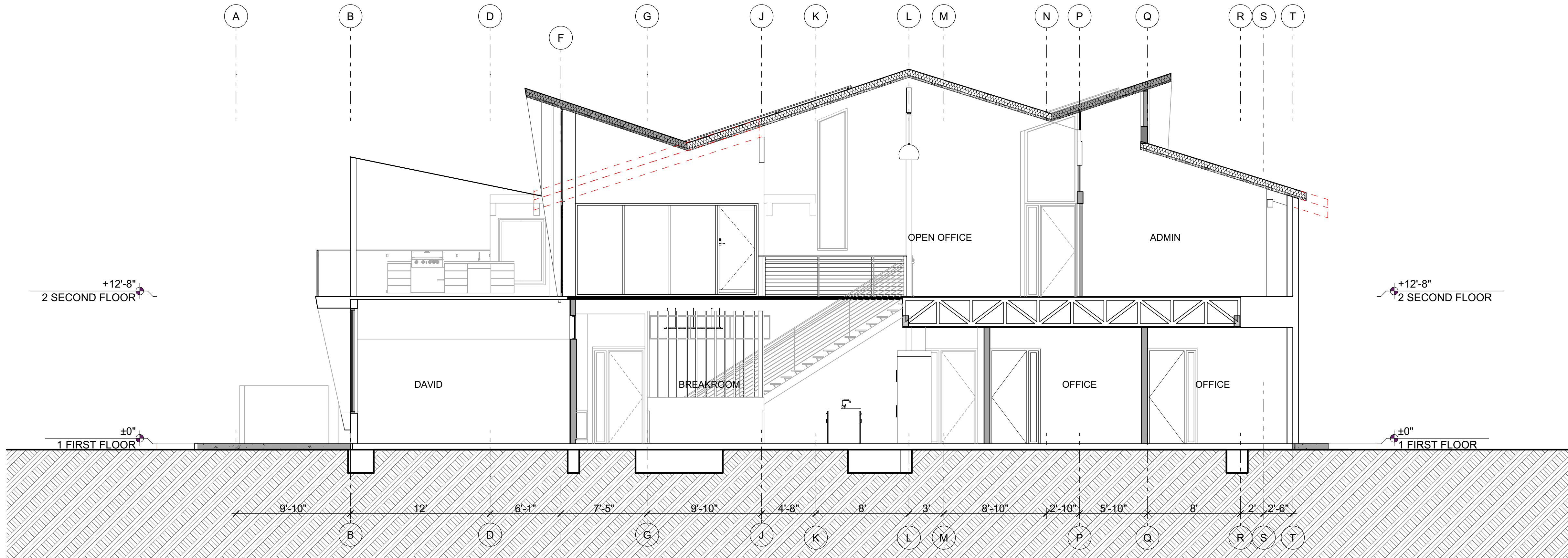
legend



C

SECTION THROUGH (N) ELEVATOR SHAFT @ EXISTING STRUCTURE LOOKING WEST

SCALE: 3/16" = 1'-0"



D

SECTION THROUGH (E) BUILDING LOOKING WEST

SCALE: 3/16" = 1'-0"

issues and revisions

Approved by	KN	KP	KP						
Checked by	KN	KN	KN						
ISSUE	ISSUE FOR PLAN CHECK	PLANNING RESUBMITTAL							
DATE	11/29/2021	2/9/2022							
ID	03	04							

registration & signature



project: 725 S VICTORIA AVE

project number * PROJECT NUMBER *

description

A5.02 BUILDING SECTIONS

scale AS NOTED

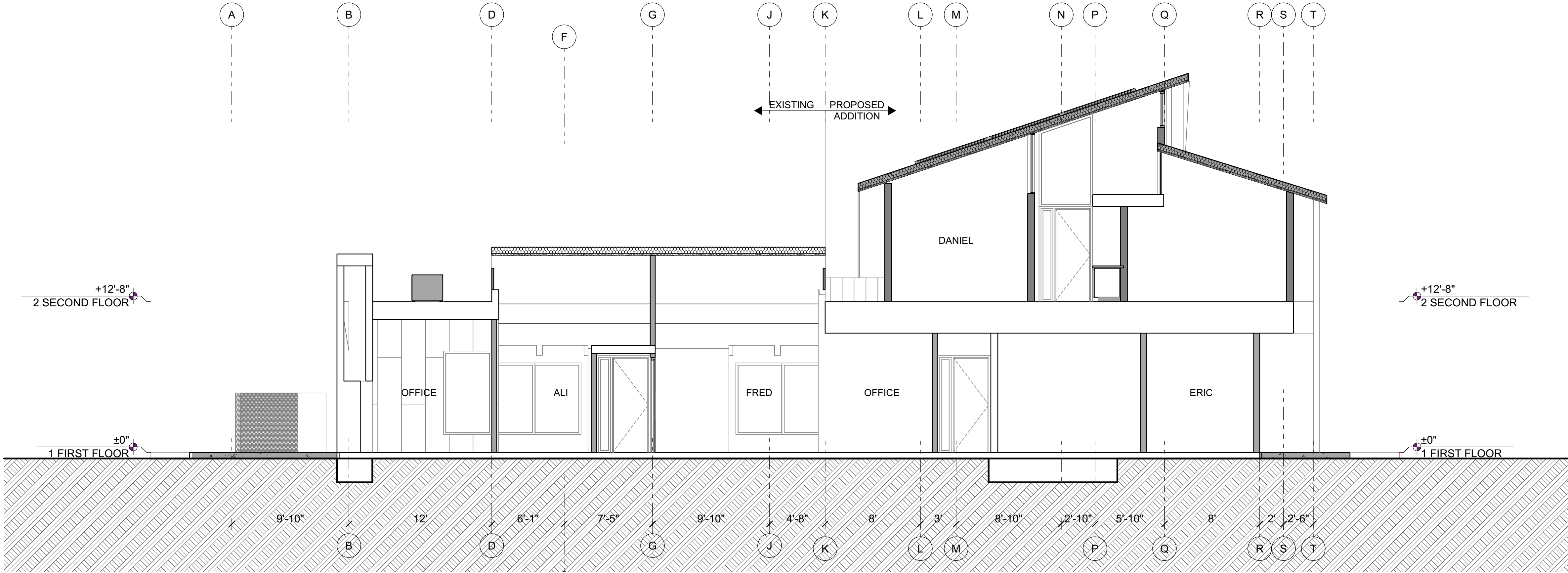
drawn KN

All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used, or disclosed without the written consent of the architect.

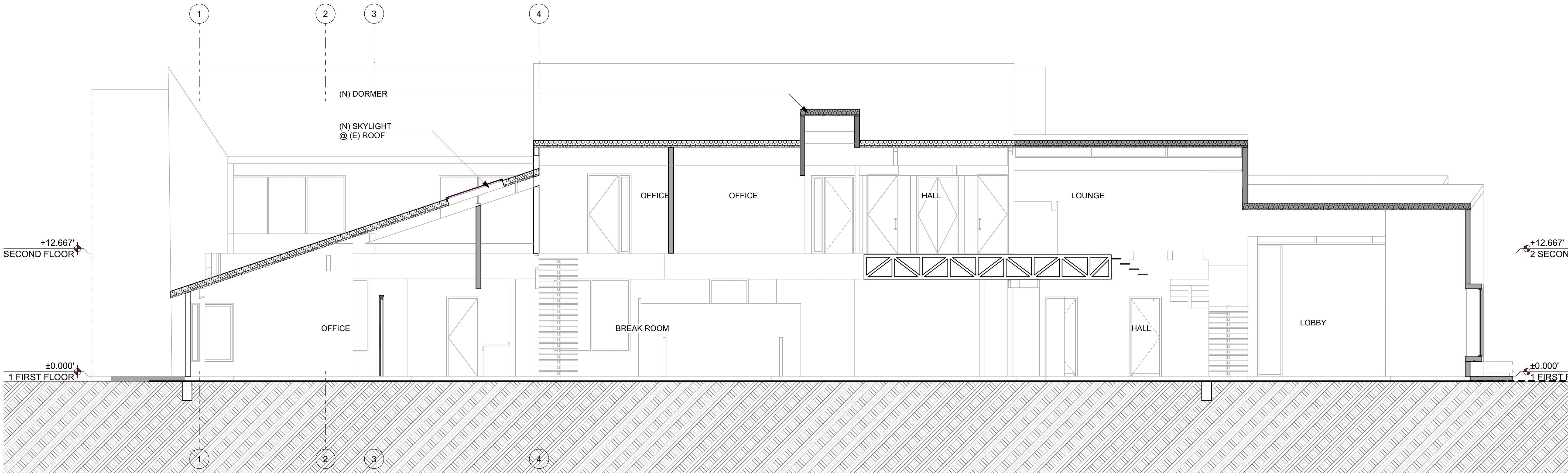
north arrow drawing number

A5.02

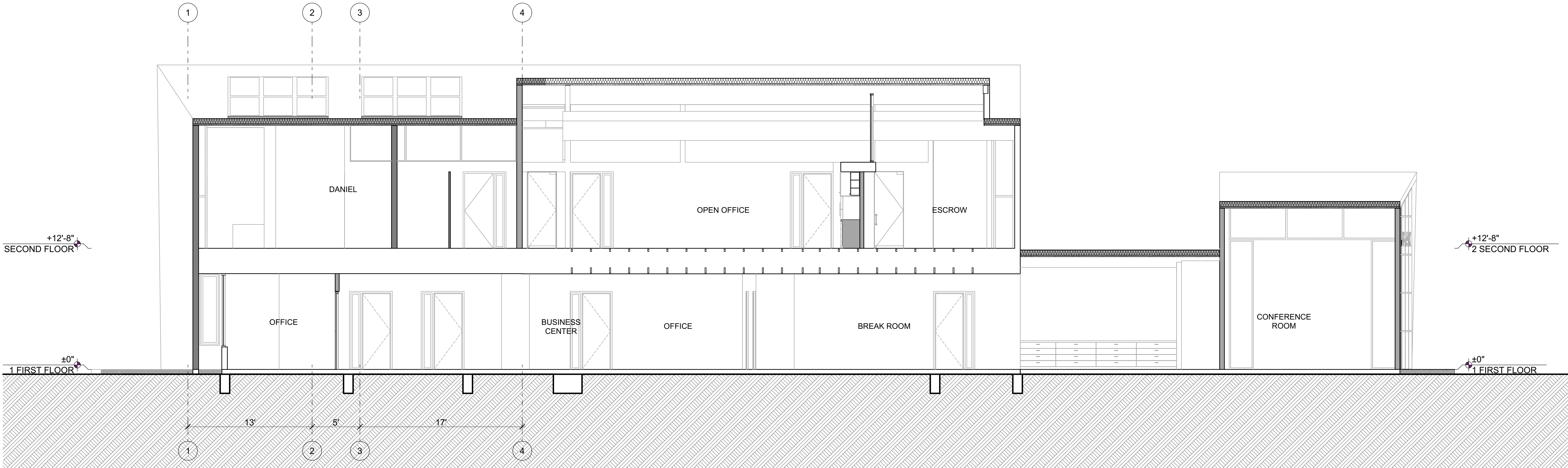
Approved by	KN	KN							
Checked by	KN	KN							
ISSUE	ISSUE FOR PLAN CHECK	PLANNING RESUBMITTAL							
DATE	11/29/2021	2/9/2022							
ID	03	04							



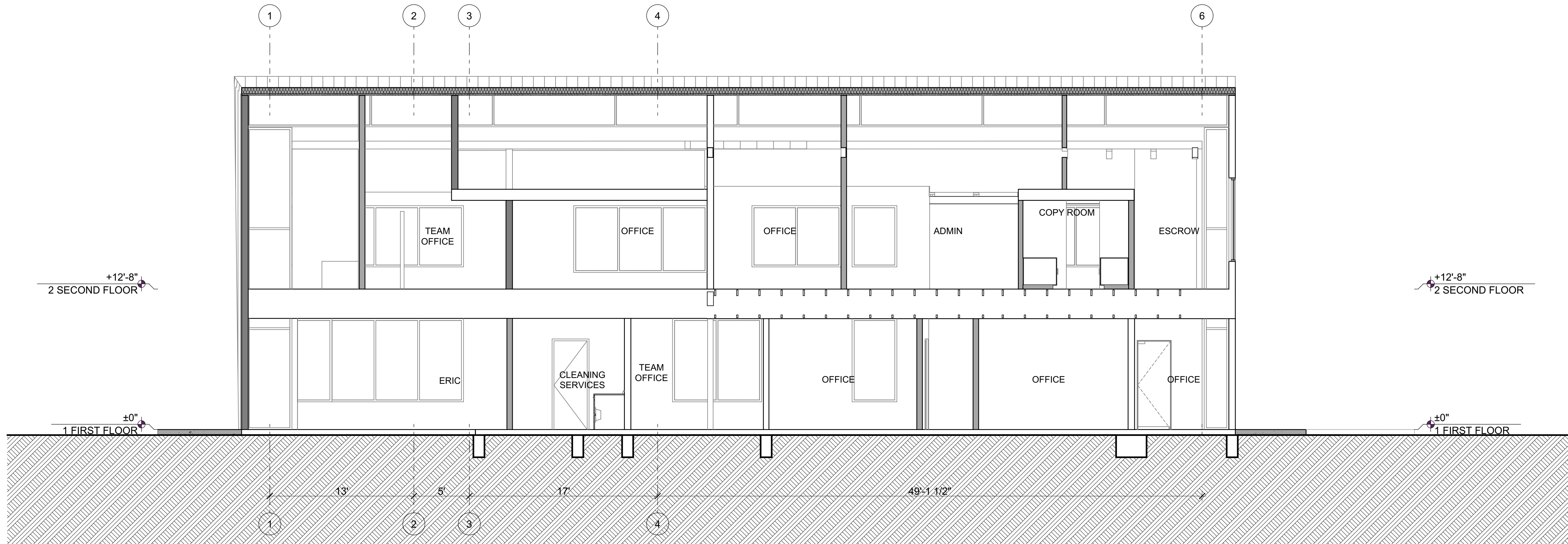
E SECTION THROUGH 2-STORY ADDITION LOOKING WEST
SCALE: 3/16" = 1'-0"



F LONGITUDINAL SECTION LOOKING NORTH
SCALE: 3/16" = 1'-0"



G LONGITUDINAL SECTION THROUGH 2-STORY ADDITION LOOKING NORTH
SCALE: 3/16" = 1'-0"



H SECTION THROUGH (N) DORMER FACING NORTH
SCALE: 3/16" = 1'-0"

RE/MAX
Gold Coast

725 S. VICTORIA AVE VENTURA CA 93003

nest

architecture inc.

9314 venice blvd.
culver city
california 90232
310 559 pn 9900
fx 7722

752-c willow st.
lebanon
pennsylvania 17046
717 274 pn 9551
fx 9263

legend

issues and revisions	
Approved by	KN KP
Checked by	KN KN
ISSUE	ISSUE FOR PLAN CHECK PLANNING RESUBMITTAL
DATE	11/29/2021 2/9/2022
ID	03 04

registration & signature

LICENSED ARCHITECT

KN

No. C-20478

10-31-2023

RENEWAL DATE

STATE OF CALIFORNIA

project: 725 S VICTORIA AVE

project number * PROJECT NUMBER *

description

A5.04 BUILDING SECTIONS

scale AS NOTED

drawn KN

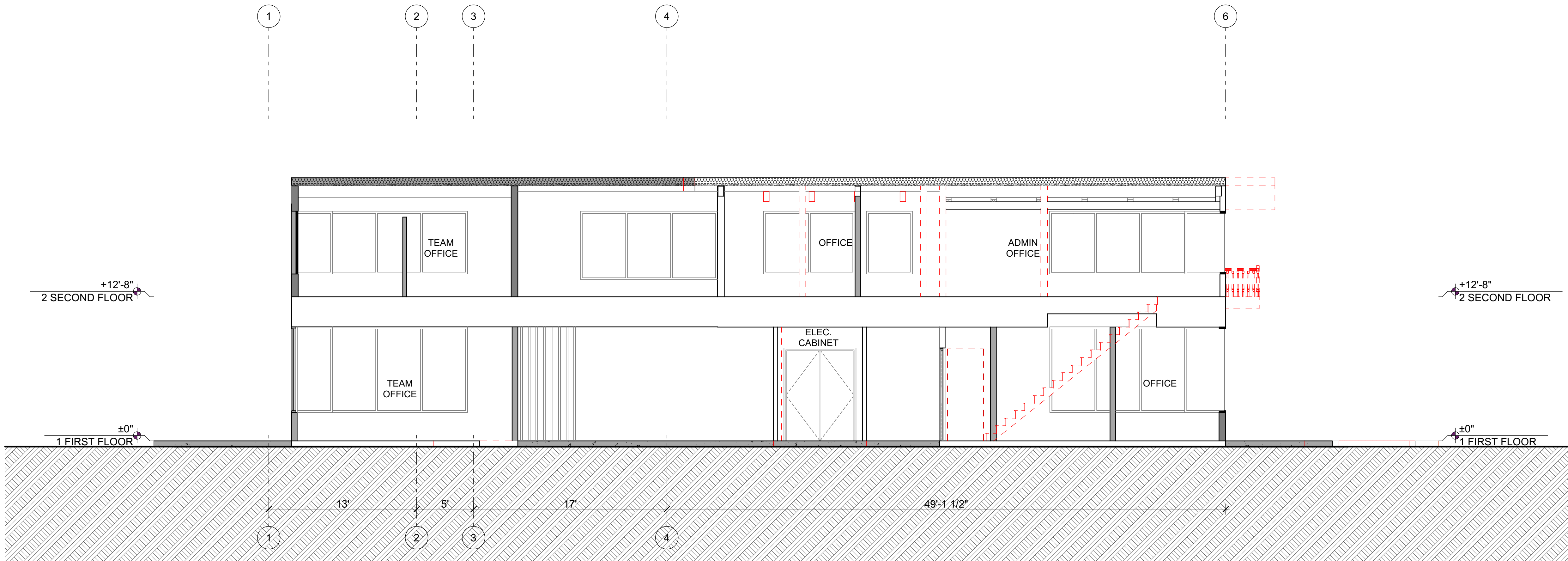
All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used, or disclosed without the written consent of the architect.

north arrow

drawing number

A5.04

D:\nest\REMAX\725 S. Victoria Ave. MASTER.dgn



J SECTION THROUGH 2-STORY ADDITION
SCALE: 3/16" = 1'-0"

RE/MAX
Gold Coast

725 S. VICTORIA AVE VENTURA CA 93003

nest
architecture inc.

9314 venice blvd.
culver city california 90232
310 559 pn 9900
fx 7722

752-c willow st.
lebanon pennsylvania 17046
717 274 pn 9551
fx 9263

legend									

issues and revisions									
Approved by	Checked by	ISSUE	DATE	ID					
KN	KN	ISSUE FOR PLAN CHECK	11/29/2021	03					
KN	KN	PLANNING RESUBMITTAL	2/9/2022	04					

registration & signature

project: 725 S VICTORIA AVE	
project number	* PROJECT NUMBER *
description	
A5.05 BUILDING SECTIONS	
scale	AS NOTED
drawn	KN
All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used, or disclosed without the written consent of the architect.	
north arrow	drawing number
	A5.05

RE/MAX
Gold Coast

725 S. VICTORIA AVE VENTURA CA 93003

nest

architecture inc.



9314 venice blvd.
culver city
california 90232
310 559 pn 9900
fx 7722

752-c willow st.
lebanon
pennsylvania 17046
717 274 pn 9551
fx 9263

752-c willow st.
lebanon
pennsylvania 17046
717 274 pn 9551
fx 9263

legend

issues and revisions

[illegible]

registration & signature



project: 725 S VICTORIA AVE

project number	* PROJECT NUMBER *
----------------	--------------------

description

A9.01 RENDERINGS

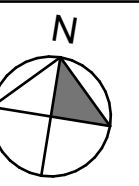
scale	AS NOTED
-------	----------

drawn	KN
-------	----

All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used, or disclosed without the written consent of the architect.

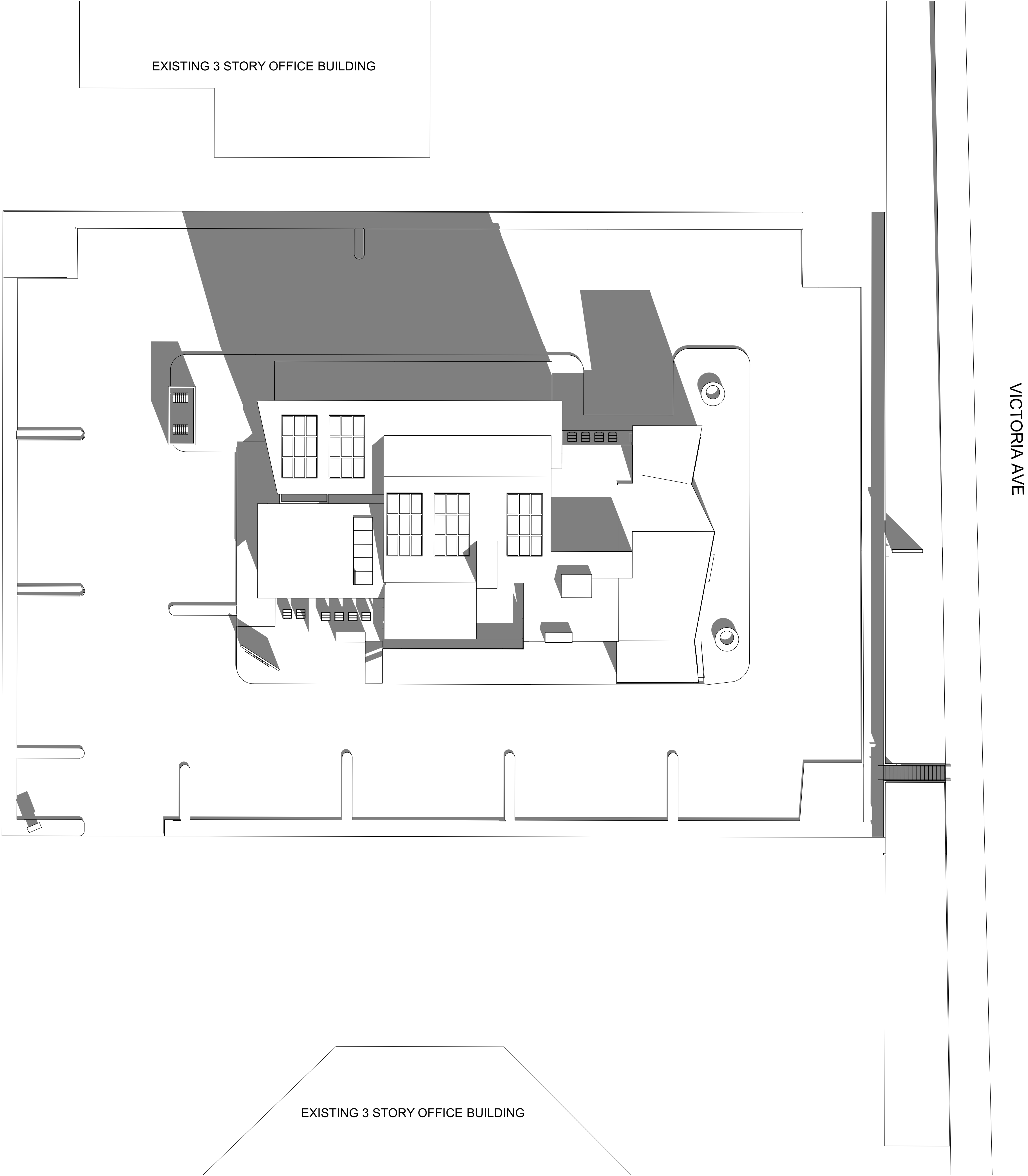
north arrow

drawing number



A9.01





SUN STUDY DEC @1PM

RE/MAX
Gold Coast

725 S. VICTORIA AVE VENTURA CA 93003

nest

architecture inc.

9314 venice blvd.
culver city
california 90232
310 559 pn 9900
fx 7122

752-c willow st.
lebanon
pennsylvania 17046
717 274 pn 9551
fx 9263

legend

issues and revisions

id	date	issue	checked by	approved by
03	11/29/2021	ISSUE FOR PLAN CHECK		
04	2/9/2022	PLANNING RESUBMITTAL		

registration & signature

LICENSED ARCHITECT

No. C-20478

10-31-2023

RENEWAL DATE

STATE OF CALIFORNIA

project: 725 S VICTORIA AVE

project number	* PROJECT NUMBER *

description

A9.02 SUN STUDY

scale	AS NOTED
drawn	KN

All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used, or disclosed without the written consent of the architect.

north arrow	drawing number
	A9.02

legend

issues and revisions

Approved By	KN	KN							
Checked By	KN	KN							
ISSUE	ISSUE FOR PLAN CHECK	PLANNING RESUBMITTAL							
DATE	11/29/2021	2/9/2022							
ID	03	04							

registration & signature



project: 725 S VICTORIA AVE

project number * PROJECT NUMBER *

description

A9.03 MATERIAL BOARD

scale	AS NOTED
drawn	KN

All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used, or disposed without the written consent of the architect.

north arrow	drawing number
N	A9.03



SIDING:
CORRUGATED METAL



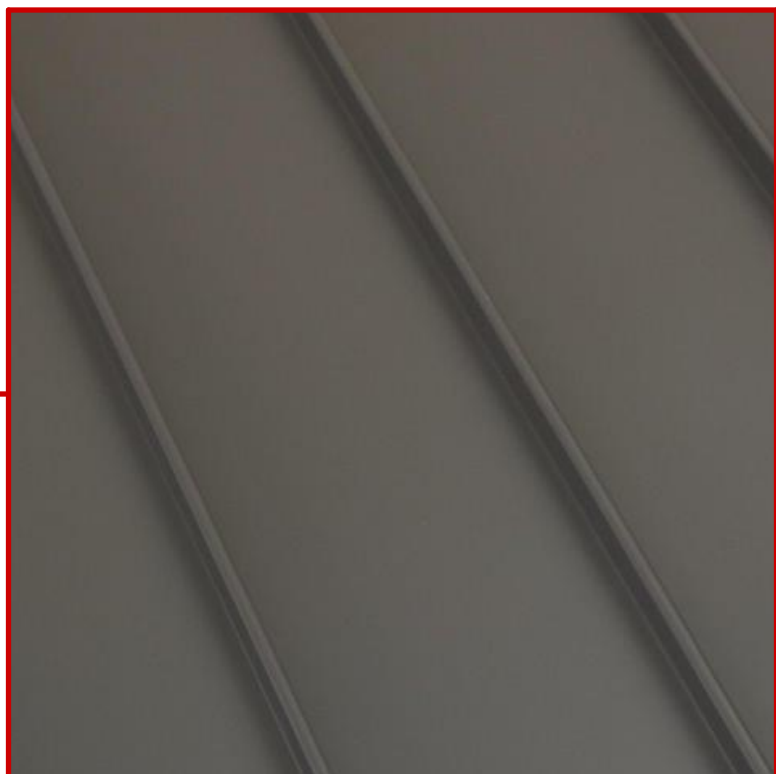
WINDOW & DOOR FRAMES:
DARK BROWN ANODIZED



SCREEN:
PERFORATED METAL



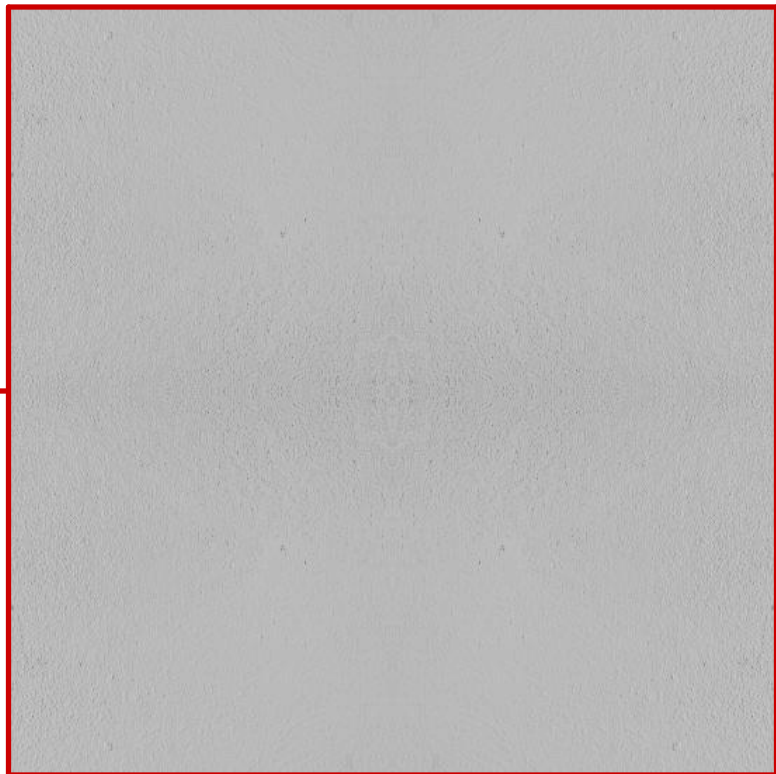
GREEN WALL:
RED TRUMPET VINE, SEE
LANDSCAPE PLANS



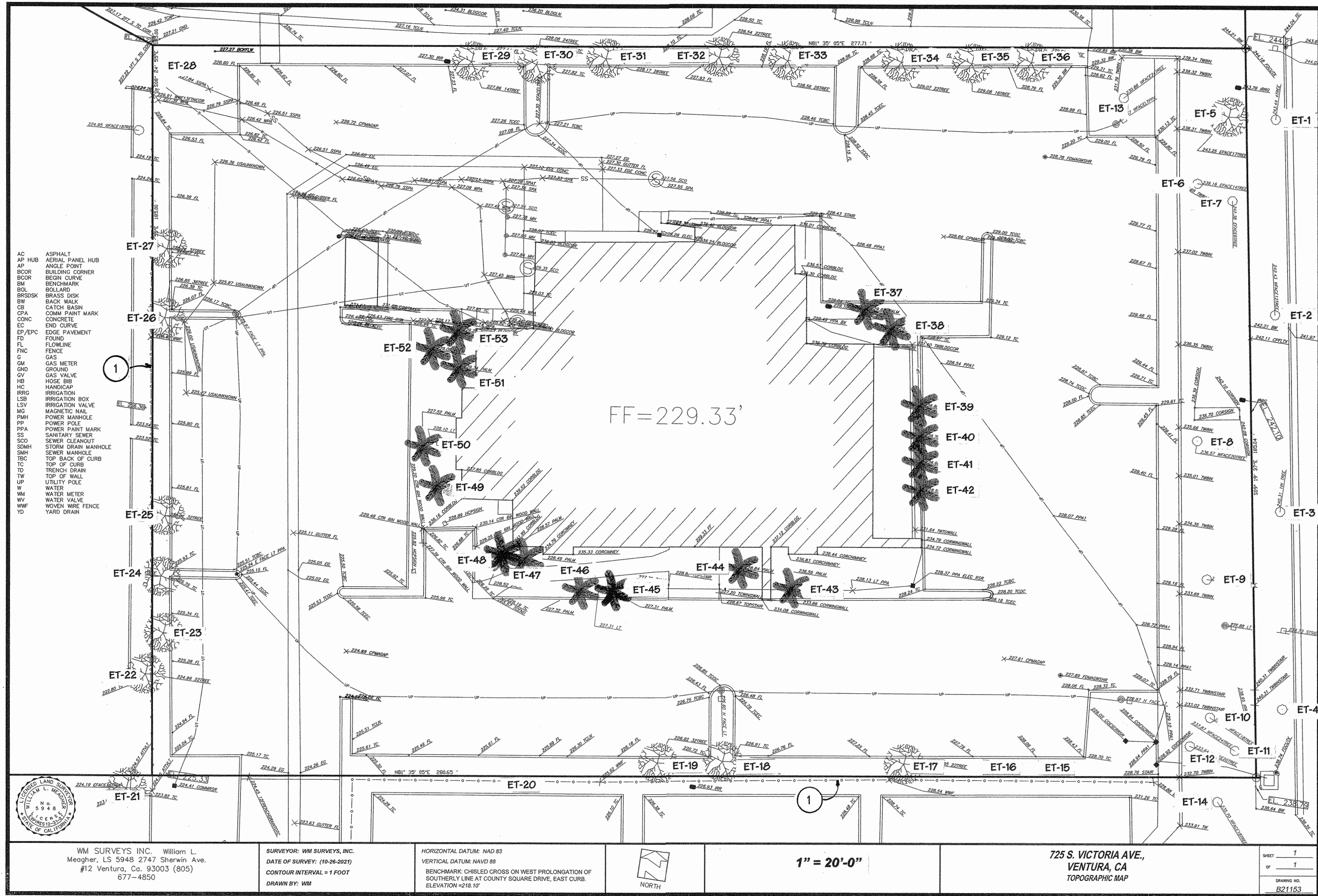
ROOF:
DARK BRONZE STANDING SEAM METAL



VERTICAL SCREEN:
STAINED DOUGLAS FIR



WALLS:
EXTERIOR CEMENT PLASTER SMOOTH
FINISH, COLOR:GRAY

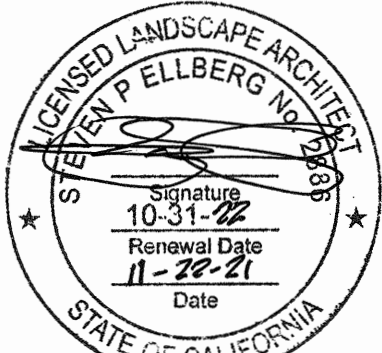


EXISTING LANDSCAPE INVENTORY & DEMOLITION PLAN

KEY TO EXIST TREES (INVENTORY)
& ACTION:

KEY	EXISTING TREE	ACTION
ET-1	QUERCUS ILEX	STREET TREE
ET-2	QUERCUS ILEX	STREET TREE
ET-3	GINKGO BILOBA	STREET TREE
ET-4	QUERCUS ILEX	STREET TREE
ET-5	EUCALYPTUS	REMAINS
ET-6	EUCALYPTUS	REMAINS
ET-7	EUCALYPTUS	REMAINS
ET-8	EUCALYPTUS	REMAINS
ET-9	EUCALYPTUS	REMAINS
ET-10	EUCALYPTUS	REMAINS
ET-11	EUCALYPTUS	REMAINS
ET-12	EUCALYPTUS	REMAINS
ET-13	EUCALYPTUS	REMAINS
ET-14	PLATANUS RACEMOSA	REMAINS (OFF-SITE)
ET-15	CUPANIOPSIS STUMP W/SUCKERS	REMOVE
ET-16	CUPANIOPSIS STUMP W/SUCKERS	REMOVE
ET-17	CUPANIOPSIS ANACARDIOIDES	REMOVE
ET-18	CUPANIOPSIS ANACARDIOIDES	REMOVE
ET-19	CUPANIOPSIS ANACARDIOIDES	REMOVE
ET-20	PRUNUS LYONII VOLUNTEER	REMOVE (@ PL)
ET-21	PINUS PINEA	REMAINS (OFF-SITE)
ET-22	EUCALYPTUS	REMAINS
ET-23	CUPANIOPSIS ANACARDIOIDES	REMAINS
ET-24	CUPANIOPSIS ANACARDIOIDES	REMAINS
ET-25	CUPANIOPSIS ANACARDIOIDES	REMAINS
ET-26	CUPANIOPSIS ANACARDIOIDES	REMAINS
ET-27	CUPANIOPSIS ANACARDIOIDES	REMAINS
ET-28	PRUNUS LYONII & MISC	REMOVE
ET-29	CUPANIOPSIS ANACARDIOIDES	REMAINS
ET-30	CUPANIOPSIS ANACARDIOIDES	REMAINS
ET-31	CUPANIOPSIS ANACARDIOIDES	REMAINS
ET-32	EUCALYPTUS	REMAINS
ET-33	CUPANIOPSIS ANACARDIOIDES	REMAINS
ET-34	CUPANIOPSIS ANACARDIOIDES	REMAINS
ET-35	CUPANIOPSIS ANACARDIOIDES	REMAINS
ET-36	CUPANIOPSIS ANACARDIOIDES	REMAINS
ET-37	SYAGRUS ROMANZOFFIANA	REMOVE
ET-38	SYAGRUS ROMANZOFFIANA	REMOVE
ET-39	SYAGRUS ROMANZOFFIANA	REMOVE
ET-40	SYAGRUS ROMANZOFFIANA	REMOVE
ET-41	SYAGRUS ROMANZOFFIANA	REMOVE
ET-42	SYAGRUS ROMANZOFFIANA	REMOVE
ET-43	SYAGRUS ROMANZOFFIANA	REMOVE
ET-44	SYAGRUS ROMANZOFFIANA	REMOVE

ET-45	SYAGRUS ROMANZOFFIANA	REMOVE
ET-46	SYAGRUS ROMANZOFFIANA	REMOVE
ET-47	SYAGRUS ROMANZOFFIANA	REMOVE
ET-48	SYAGRUS ROMANZOFFIANA	REMOVE
ET-49	SYAGRUS ROMANZOFFIANA	REMOVE
ET-50	SYAGRUS ROMANZOFFIANA	REMOVE
ET-51	SYAGRUS ROMANZOFFIANA	REMOVE
ET-52	SYAGRUS ROMANZOFFIANA	REMOVE
ET-53	SYAGRUS ROMANZOFFIANA	REMOVE
1	EXISTING METALWORK FENCE/GUARDRAIL: REMOVE AND RECYCLE	REMOVE
2	ALL BEDS: REMOVE & RECYCLE/DISPOSE ALL EXISTING SHRUBBERY AND GROUND COVER INCLUDING, BUT NOT LIMITED TO ALGERIAN IVY, BOTTLEBRUSH, VOLUNTEER SHRUBS AND NOXIOUS WEEDS, ETC.	REMOVE
3	REMOVE AS MUCH EXISTING IRRIGATION SYSTEM AS POSSIBLE. HEADS, RISERS AND SOME PIPELINE MAY BE ABANDONED IN PLACE BLW GRD.	REMOVE
4	TREES TO BE REMOVED SHALL BE CUT DOWN IN SECTIONS AND ROOTBALL REMOVED OR GRINDED TO MIN 12" BLW GRD	REMOVE
5	TREES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE COURSE OF CONSTRUCTION. TREES SHALL BE MAINTAINED BY MEANS OF REGULAR DEEP WATERING DURING COURSE OF CONSTRUCTION.	REMAINING
6	CUPANIOPSIS ANACARDIOIDES, (CARROTWOODS) SHALL BE SELECTIVELY PRUNED REMOVING ONLY DEADWOOD, CONFLICTING BRANCHES AND WATERSPROUTS. CARROTWOOD OUTER CANOPIES SHALL BE SHAPED INTO A UNIFORM OUTWARD CURVE UMBRELLA SHAPE.	REMAINING



LANDSCAPE:
EXISTING LANDSCAPE
INVENTORY & DEMOLITION
PLAN

RE/MAX
SOLD COAST REALTORS
725 SOUTH VICTORIA AVENUE
VENTURA, CALIFORNIA 93003

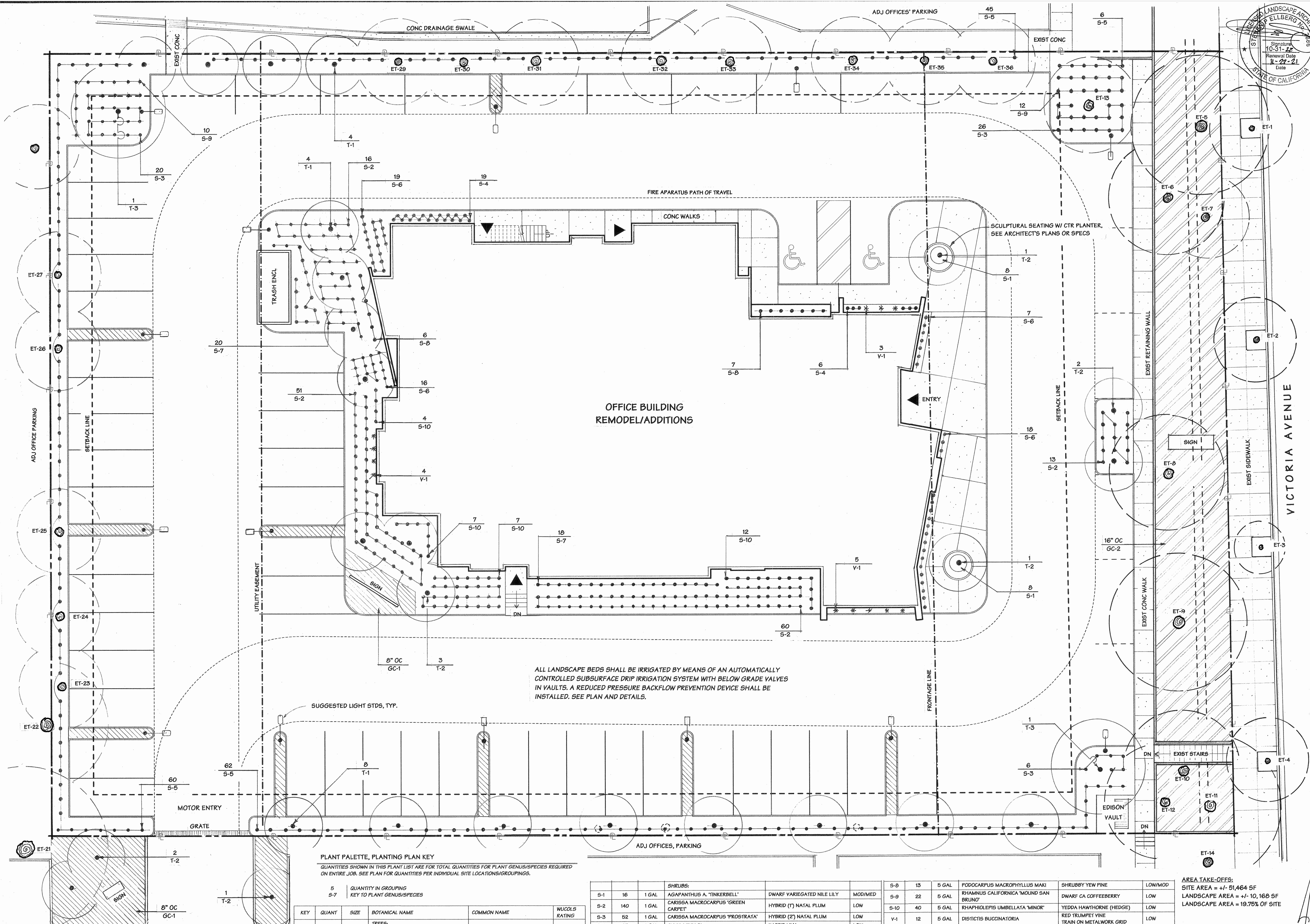
Date 11/18/21
Scale 1" = 20'-0"
Drawn SPE
Job 21-1028-1
Sheet L.1
Of 4 Sheets

STEVEN P. ELLBERG, LANDSCAPE ARCHITECT

5555 North Blyn Maw Street
Ventura, California 93003 U.S.A.
(805) 794-6602 - ap@spellberg.com

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO STEVEN P. ELLBERG, LANDSCAPE ARCHITECT, AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF THE PROJECT DESCRIBED HEREIN. IT IS NOT TO BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE WRITTEN CONSENT OF STEVEN P. ELLBERG, LANDSCAPE ARCHITECT. ALL RIGHTS RESERVED. © 2021.

REVISIONS	BY



ALL LANDSCAPE BEDS SHALL BE IRRIGATED BY MEANS OF AN AUTOMATICALLY CONTROLLED SUBSURFACE DRIP IRRIGATION SYSTEM WITH BELOW GRADE VALVES IN VAULTS. A REDUCED PRESSURE BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED. SEE PLAN AND DETAILS.

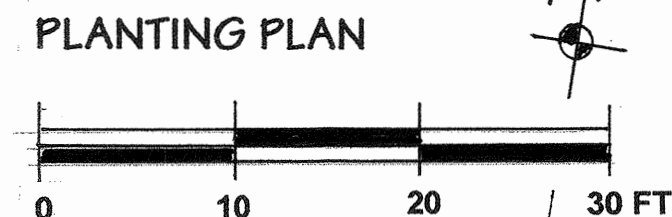
PLANT PALETTE, PLANTING PLAN KEY
QUANTITIES SHOWN IN THIS PLANT LIST ARE FOR TOTAL QUANTITIES FOR PLANT GENUS/SPECIES REQUIRED ON ENTIRE JOB. SEE PLAN FOR QUANTITIES PER INDIVIDUAL SITE LOCATIONS/GROUPINGS.

QUANTITY IN GROUPING KEY TO PLANT GENUS/SPECIES				
KEY	QUANT	SIZE	BOTANICAL NAME	COMMON NAME
TREES:				
T-1	16	24" BOX	ARBUTUS X. 'MARINA' STD	STRAWBERRY/MADROÑE HYBRID
T-2	9	24" BOX	CERCIS CANADENSIS 'FOREST PANSY'	PURPLE LAEF FOREST PANSY
T-3	2	36" BOX	QUERCUS AGRIFOLIA	COAST LIVE OAK

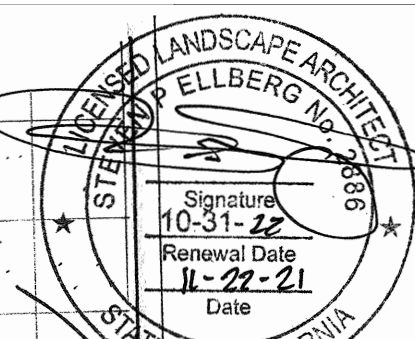
SHRUBS:				
S-1	16	1 GAL	AGAPANTHUS A. 'TINKERBELL'	DWARF VARIEGATED NILE LILY
S-2	140	1 GAL	CARISSA MACROCARPUS 'GREEN CARPET'	HYBRID (1) NATAL PLUM
S-3	52	1 GAL	CARISSA MACROCARPUS 'PROSTRATA'	HYBRID (2) NATAL PLUM
S-4	25	1 GAL	CLIVIA MINIATA	KAFFIR LILY
S-5	173	5 GAL	LAURUS NOBILIS	GREGIAN BAY LAUREL
S-6	53	5 GAL	NANDINA D. 'HARBOR DWARF'	DWARF HEAVENLY BAMBOO
S-7	38	5 GAL	PITTOSPORUM CRASSIFOLIUM 'COMPACTA'	DWARF KARO

S-8	13	5 GAL	PODOCARPUS MACROPHYLLUS MAKI	SHRUBBY YEW PINE	LOW/MOD
S-9	22	5 GAL	RHAMNUS CALIFORNICA 'MOUND SAN BRUNO'	DWARF CA COFFEEBERRY	LOW
S-10	40	5 GAL	RHAPHIOLEPIS UMBELLATA 'MINOR'	YEDDA HAWTHORNE (HEDGE)	LOW
V-1	12	5 GAL	DISTICTIS BUCCINATORIA	RED TRUMPET VINE	LOW
GROUND COVERS:					
GC-1	8" OC	FLATS OR 4" POTS	CAREX PANSA MIXED W/ CAREX TUMULICOLA	CALIFORNIA MEADOW SEDGE	LOW
GC-2	16" OC	FLATS	MYOPORUM PARVIFOLIUM	PROSTRATE MYOPORUM	LOW

AREA TAKE-OFFS:
SITE AREA = +/- 51,464 SF
LANDSCAPE AREA = +/- 10,160 SF
LANDSCAPE AREA = 19.75% OF SITE



SEE ALSO EXISTING LANDSCAPE INVENTORY & DEMOLITION PLAN (TO KEY IN EXIST TREES THAT REMAIN. ET = EXIST TREE)



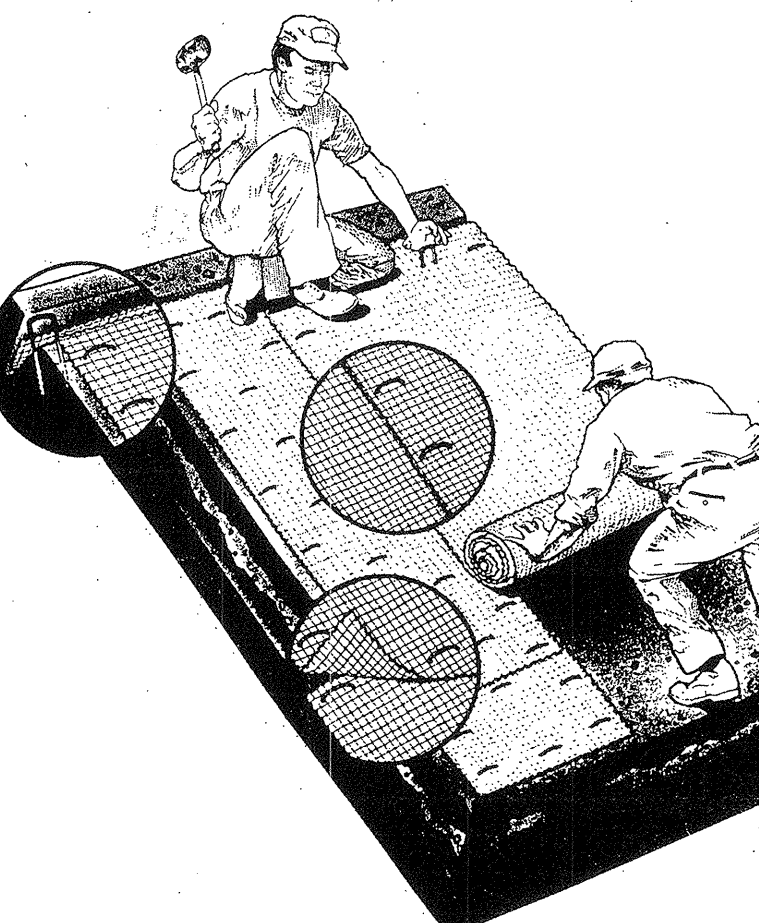
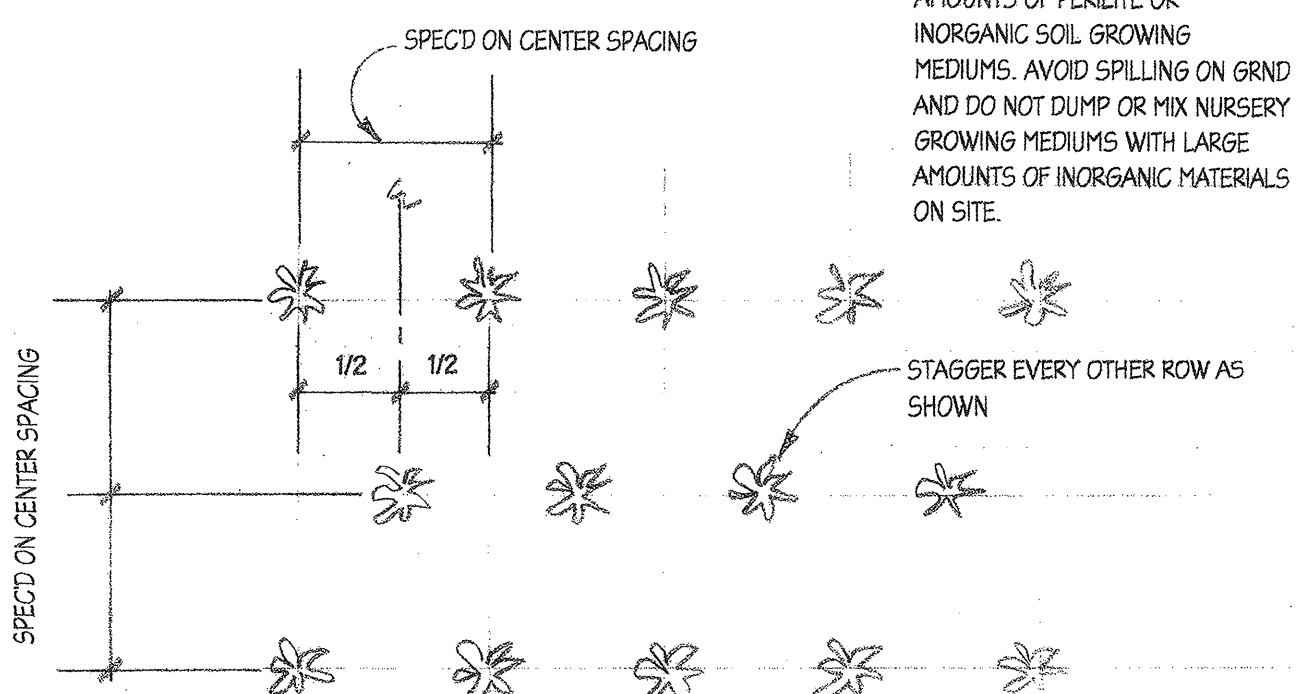
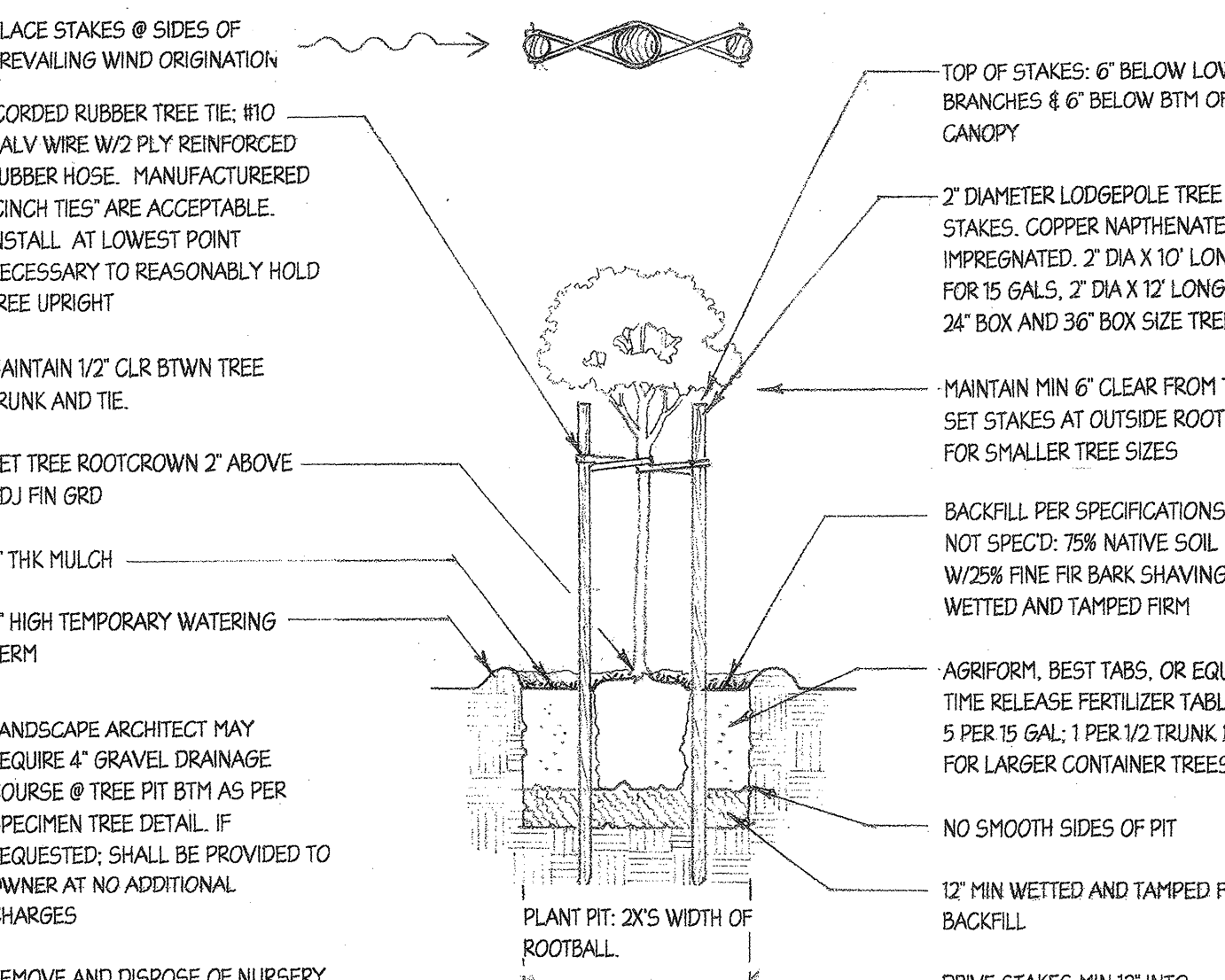
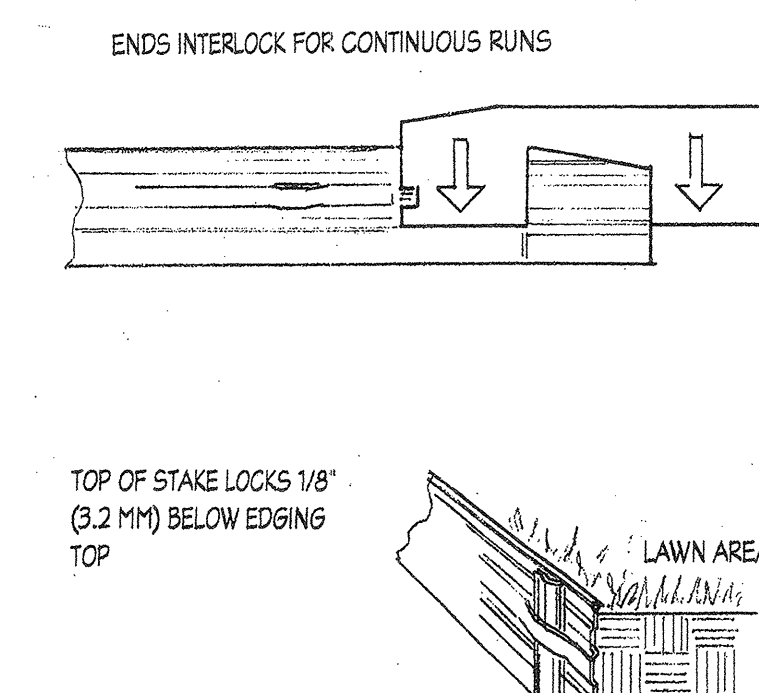
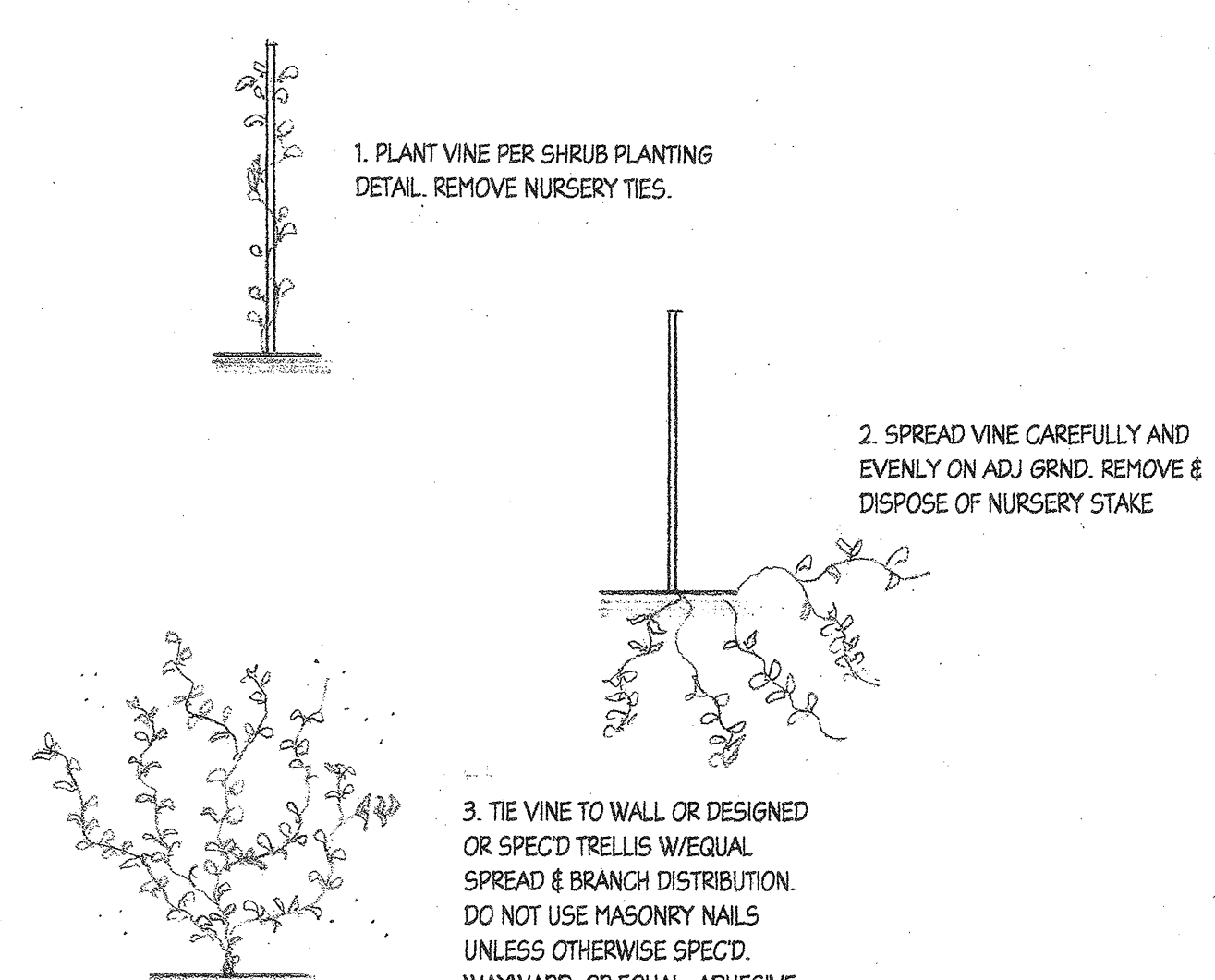
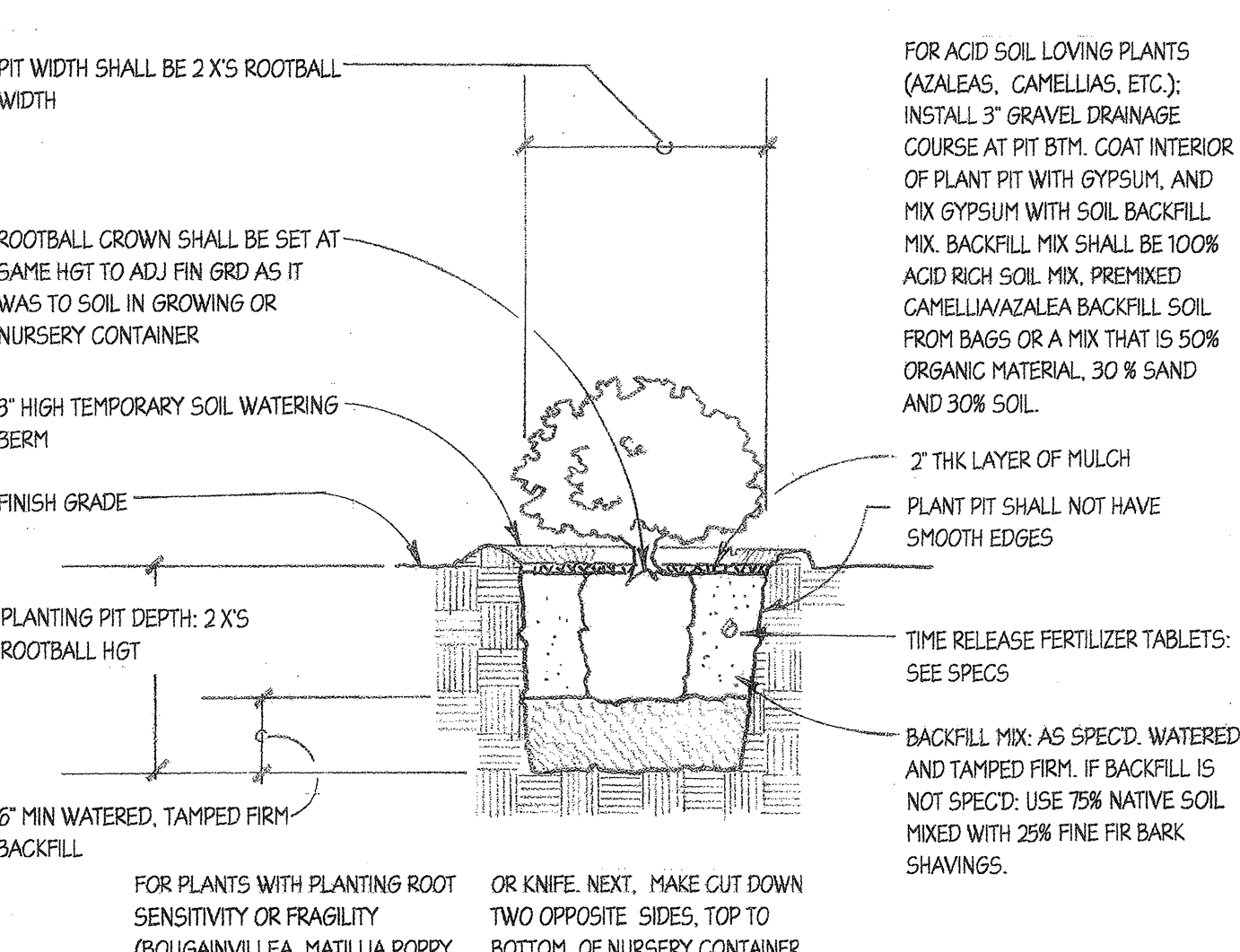

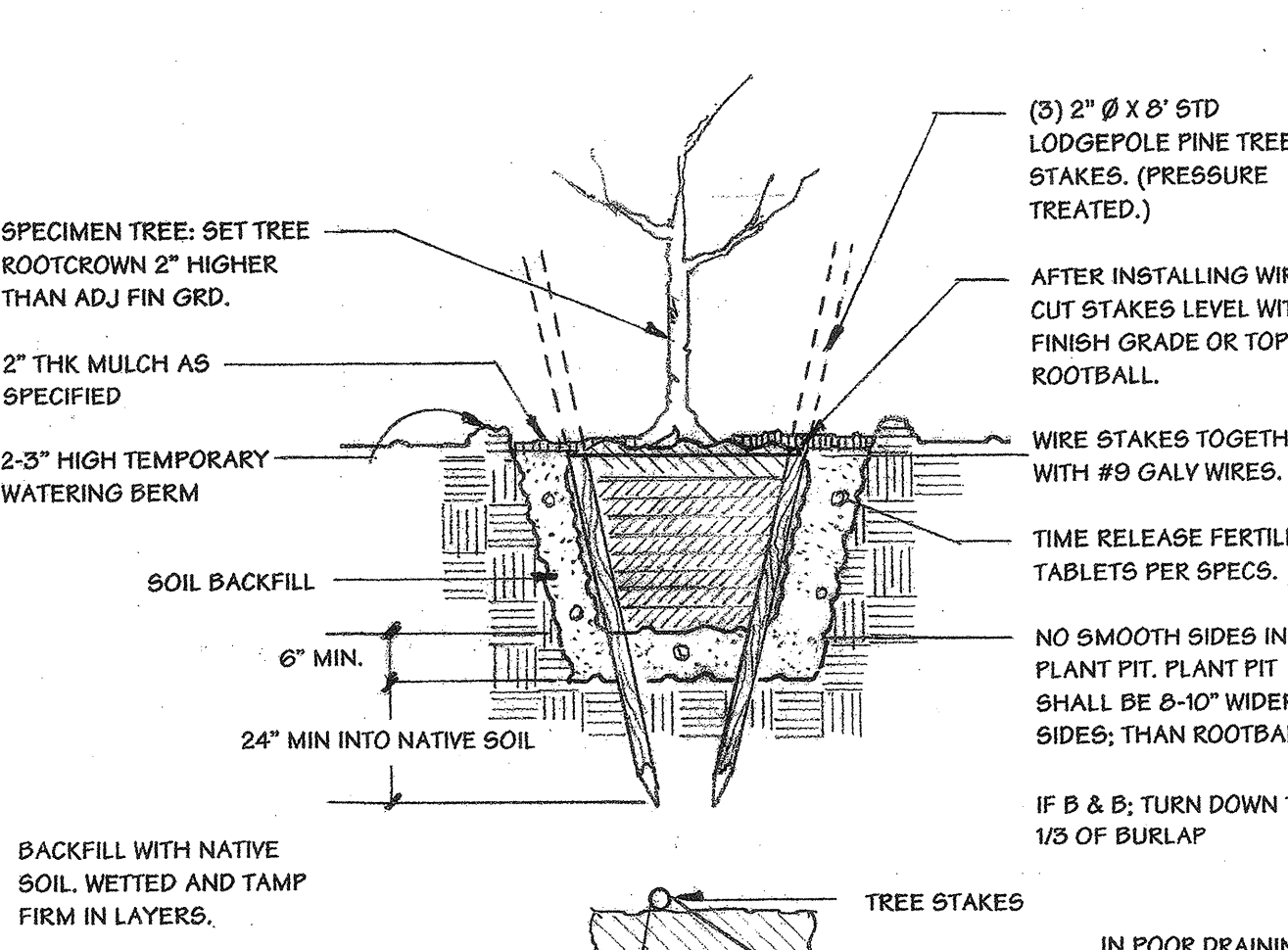
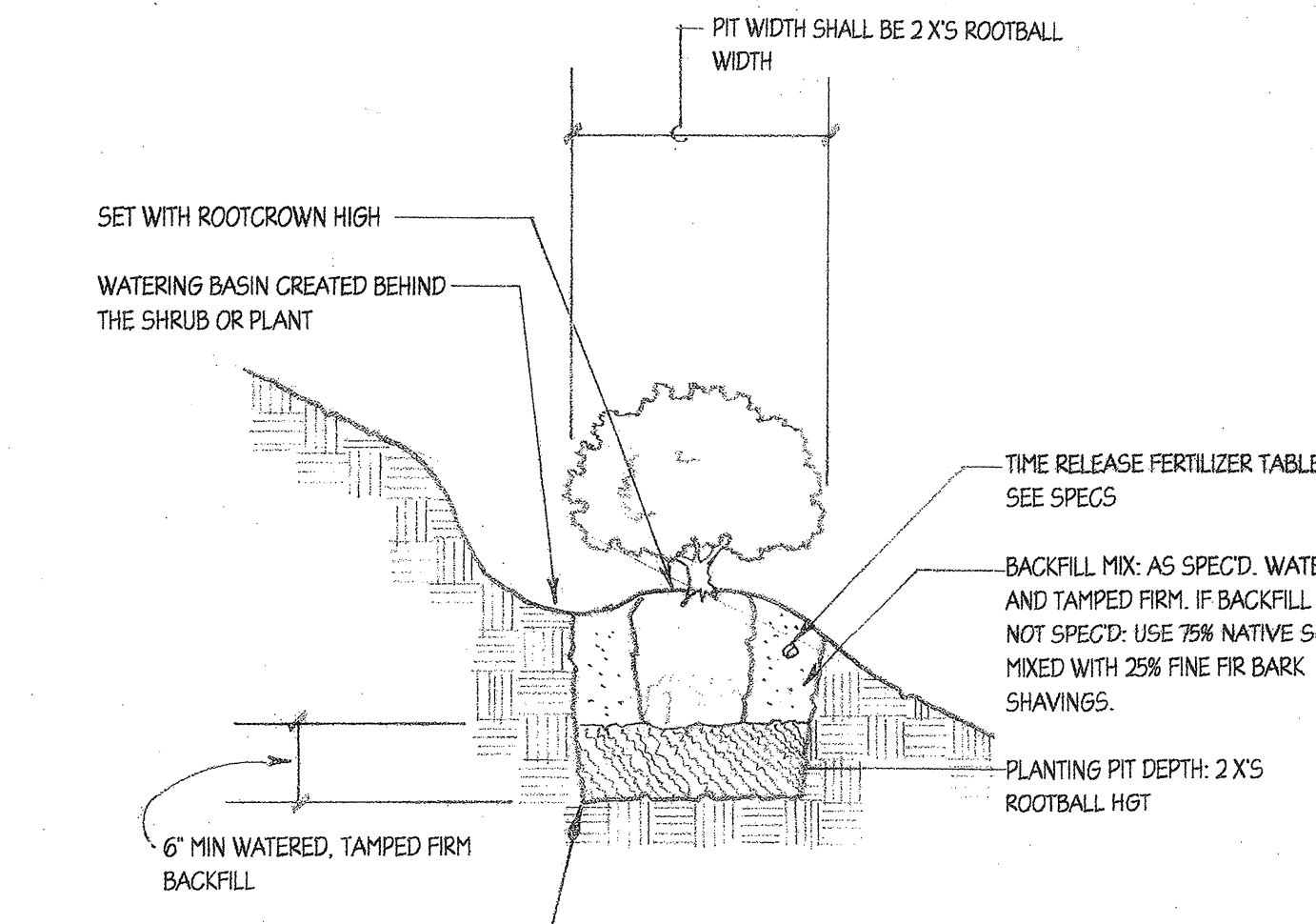
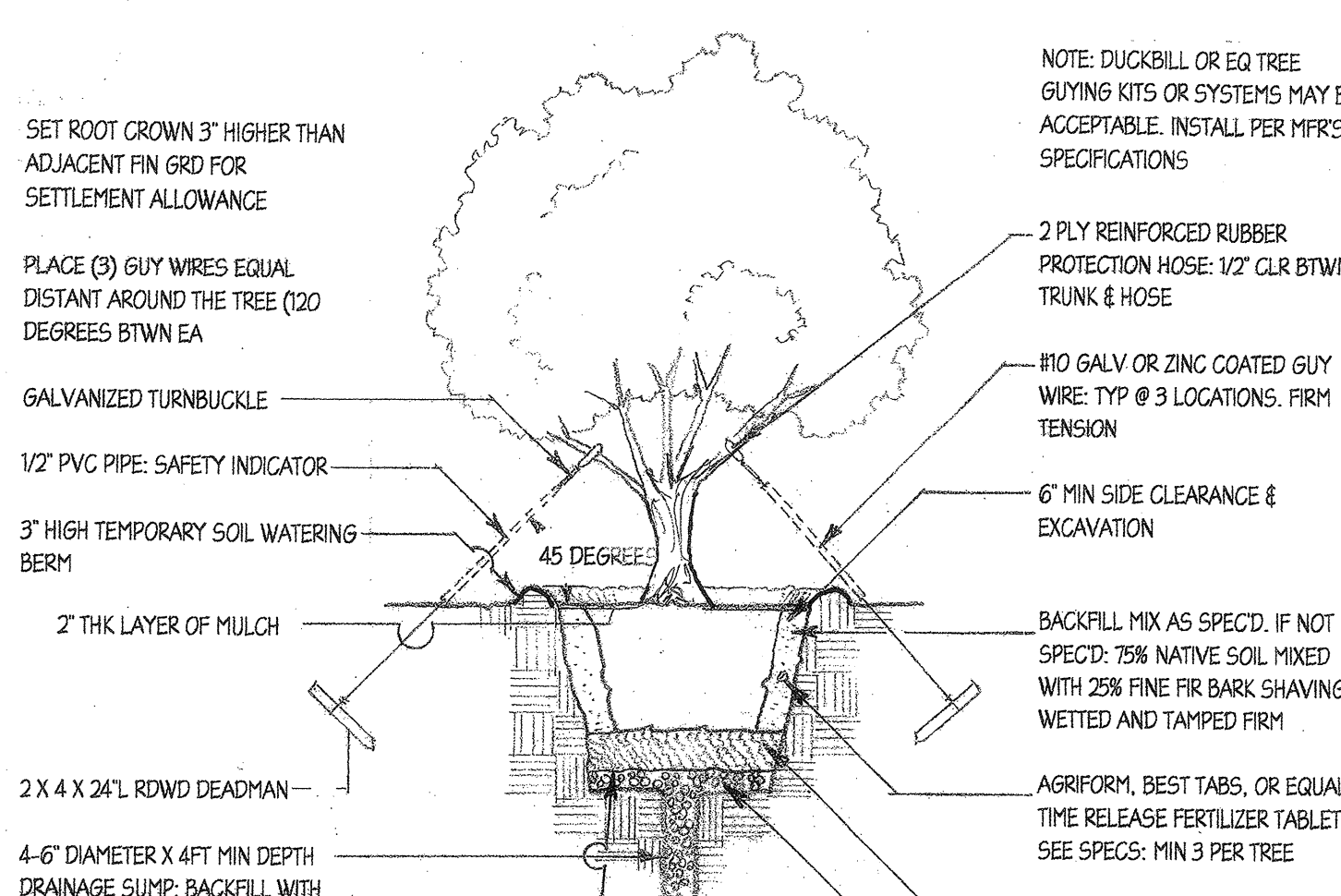
REVISIONS

STEVEN P. ELLBERG : LANDSCAPE ARCHITECT
STEVEN P. ELLBERG + ASSOCIATES
5533 North Bryn Mawr Street
Ventura, California 93003 U.S.A.
(805) 794-6602 sps@spad.com
Landscape Architecture Planning Environmental Restoration Water Conservation Project Management

LANDSCAPE: PLANTING PLAN

RE/MAX GOLD COAST REALTORS
725 SOUTH VICTORIA AVENUE
VENTURA, CALIFORNIA 93003

Date 11/18/21
Scale 1" = 10'-0"
Drawn SPE
Job 21-1028-1
Sheet L.2
Of 4 Sheets

<p>JUTE MATTING INSTALLATION TO ALL SLOPES EXCEEDING 4:1 IS RECOMMENDED WHEN SLOPE PLANTING IS TAKING PLACE BETWEEN AUGUST AND APRIL OR WHEN SLOPE PLANTING CANNOT BECOME ESTABLISHED BEFORE THE RAINY SEASON BEGINS.</p>  <p>INSTALLING JUTE MATTING:</p> <ol style="list-style-type: none"> 1. PREPARE SOIL BY GRADING & RAKING AREA FREE OF DEBRIS, ROCKS AND CLODS. DO NOT COMPACT. IF USING FERTILIZER-NEARLY ALWAYS RECOMMENDED-ADD IT TO THE SOIL BEFORE GRADING. 2. SEEDS AND MULCH, IF REQUIRED OR SPECIFIED, SHOULD BE DISTRIBUTED EVENLY OVER THE PREPARED SOIL. 3. JUTE MATTING SHOULD BE APPLIED BY UNROLLING DOWN THE SLOPE OR IN THE DIRECTION OF WATER FLOW. ALWAYS TRY TO BRING THE JUTE MATTING DOWN TO A LEVEL AREA BEFORE TERMINATION, FOLD 6" UNDER AND SECURE WITH STAPLES. 4. SECURE JUTE MATTING AT THE TOP OF SLOPE BY TOEING IT IN 6" DEEP, REINFORCE WITH A ROW OF AT LEAST FIVE STAPLES, SPACING EACH ABOUT 12" O.C. AND COVERING WITH SOIL. 5. PLACE STAPLES 10" TO 24" APART THROUGHOUT TO SECURE MATTING TO GROUND. ALL STAPLES SHALL BE FLUSH WITH SOIL SURFACE. 6. ALWAYS OVERLAP THE EDGES, MIN. 2" MAX. 6". AT END OF EACH ROLL, FOLD BACK 4'-8" OF THE MATTING, OVERLAP 4'-8" OVER THE START OF THE NEXT ROLL. SECURELY STAPLE THE TWO LAYERS TO THE GROUND. 7. PLANTS SHRUBS, TREES AND GROUND COVERS IN INTENDED LOCATIONS AFTER INSTALLING THE JUTE MATTING. THE USE OF LADDERS OR OTHER METHODS IS RECOMMENDED TO MINIMIZE DISRUPTION OR DAMAGE TO JUTE MATTING AND MINIMIZE ANY FOOTPRINTS IN THE GRADED SLOPE. <p>ALWAYS CHECK WITH STATE OR CONTRACTING AGENCY FOR ANY SITE SPECIFIC INSTALLATION SPECIFICATIONS OR SPECIAL REQUIREMENTS.</p> <p>KEEP JUTE MATTING IN DRY STORAGE. LAY JUTE MATTING LOOSELY. DO NOT STRETCH.</p> <p>CHECK SLOTS MAY BE NEEDED ON STEEP SLOPES TO PREVENT SUBSURFACE MOVEMENT OF SOIL DURING PROLONGED OR HEAVY RAINS. CONF. W/ LANDSCAPE ARCHITECT RE: CHECK SLOTS CONSTRUCTION/INSTALLATION METHOD.</p> <p>APPROX. 200 STAPLES ARE REQUIRED PER 100 SQ. YDS.</p>	<p>DISCARD/DISPOSE OF IN LEGAL MANNER: NURSERY SOIL MIXES IN FLATS, ETC. WHICH CONTAIN LARGE AMOUNTS OF PERLITE OR INORGANIC SOIL GROWING MEDIUMS. AVOID SPILLING ON GRND AND DO NOT DUMP OR MIX NURSERY GROWING MEDIUMS WITH LARGE AMOUNTS OF INORGANIC MATERIALS ON SITE.</p>  <p>SPEED ON CENTER SPACING</p> <p>STAGGER EVERY OTHER ROW AS SHOWN</p> <p>© ELLBERG 1992</p>	<p>PLACE STAKES @ SIDES OF PREVAILING WIND ORIGINATION</p>  <p>TOP OF STAKES: 6" BELOW LOWEST BRANCHES & 6" BELOW 5TH OF TREE CANOPY</p> <p>2" DIAMETER LODGEPOLE TREE STAKES. COPPER NAPHTHENE IMPREGNATED. 2" DIA X 12' LONG FOR 15 GALS. 2" DIA X 12' LONG FOR 24" BOX AND 36" BOX SIZE TREES</p> <p>MAINTAIN MIN 6" CLEAR FROM TREE. SET STAKES AT OUTSIDE ROOT BALL FOR SMALLER TREE SIZES</p> <p>BACKFILL PER SPECIFICATIONS. IF NOT SPEC'D: 75% NATIVE SOIL MIXED W/ 25% FINE FIR BARK SHAVINGS. WETTED AND TAMPED FIRM</p> <p>AGRIFORM, BEST TABS, OR EQUAL: TIME RELEASE FERTILIZER TABLETS: 5 PER 15 GAL.; 1 PER 1/2 TRUNK DIA FOR LARGER CONTAINER TREES</p> <p>NO SMOOTH SIDES OF PIT</p> <p>12" MIN WETTED AND TAMPED FIRM BACKFILL</p> <p>DRIVE STAKES MIN 12" INTO UNDISTURBED GROUND</p> <p>IF B & B: TURN DOWN BURLAP BY 1/3 WHEN PLANTING.</p> <p>© ELLBERG 1992</p>	<p>LANDSCAPE PLANTING NOTES (SHORT FORMAT):</p> <ol style="list-style-type: none"> 1. SUBSTITUTIONS AND SUBSTITUTIONS BY OTHERS SHALL NOT BE ALLOWED, EXCEPT WITH APPROVAL FROM THE LANDSCAPE ARCHITECT. 2. THE PLANTING PLAN IS DIAGRAMMATIC ONLY. FINAL ADJUSTMENTS AND EXACT LOCATIONS OF PLANT MATERIAL MAY OR SHALL BE DETERMINED AND APPROVED IN THE FIELD WITH THE LANDSCAPE ARCHITECT. 3. ALL PLANT MATERIAL SHALL BE SET OUT, IN NURSERY CONTAINERS, IN LOCATIONS AS DESIGNATED ON THE PLANS; IMMEDIATELY PRIOR TO THE LANDSCAPE ARCHITECT'S PLANT LOCATION APPROVAL OBSERVATION. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF THE PLANTING SCHEDULE AND TO SCHEDULE THE PLANTING OBSERVATION; MINIMUM OF 5 (FIVE) WORKING DAYS PRIOR TO THE OBSERVATION. IF THE LANDSCAPE ARCHITECT IS PREMATURELY CALLED FOR AN OBSERVATION; WHEREBY, THE CONTRACTOR IS NOT READY OR AVAILABLE FOR THE SCHEDULED OBSERVATION; THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LANDSCAPE ARCHITECT'S PROFESSIONAL SERVICE TIME AT HIS PREVAILING HOURLY RATE, INCLUDING TRAVEL TIME TO/FROM THE JOB SITE. (THE LANDSCAPE ARCHITECT DOES NOT SUPERVISE THE LICENSED CONTRACTOR'S INSTALLATION CREW). 4. PLANTS MATERIAL SHALL CONFORM TO STANDARDS SET IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" AND SHALL BE CONTAINER GROWN AT PROFESSIONAL NURSERIES WITH SIMILAR CLIMATIC CONDITIONS AS FOUND AT THE JOB SITE. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT NURSERY STOCK DELIVERED TO THE JOBSITE FOR NON CONFORMANCE TO STANDARDS OR SPECIFIED GENUS, SPECIES OR CULTIVAR. 5. DO NOT BEGIN SOIL PREPARATION OR PLANTING UNTIL THE IRRIGATION SYSTEM IS COMPLETE AND FULLY OPERABLE. 6. PLANTER AREA SOIL FILL AND BACKFILL SHALL CONTAIN NO MORE THAN 20% CLAY (EXPANDABLE MATERIAL) AND HAVE A pH RANGE BETWEEN 6.0 AND 8.0. PLANTER AREA SOIL FILL MIX SHALL BE FREE OF DEBRIS, NOXIOUS WEEDS AND INGREDIENTS OR OBJECTS THAT ARE DETRIMENTAL TO THE HEALTH AND VIGOR OF ORNAMENTAL PLANT MATERIAL. 7. INSTALL SOIL AMENDMENTS IN ALL PLANTING BEDS (WITH EXCEPTION TO SLOPES 3:1 AND GREATER); APPLY 3 CU. YDS. OF NITROGEN STABILIZED WOOD SHAVINGS, 25 LBS. COMMERCIAL FERTILIZER, 16-6-8, 30 LBS. GRO-POWER PLUS, 75 LBS. AGRICULTURAL GRADE WATER SOLUBLE GYPSUM, PER 1,000 SQ. FT. AREA. TILL (BY HAND OR MECHANICALLY) INTO SOIL, TO 8" MINIMUM DEPTH, IN TWO DIRECTIONS. 8. INSTALL TABLET FORM, TIME-RELEASE FERTILIZER, 21 GRAM, 20-10-5, FOR TREES AND SHRUBS; 1 PER 1 GAL.; 3 PER 5 GAL.; 5 PER 15 GAL.; 7 PER 24" AND 36" BOX SIZES. EVENLY DISTRIBUTE AROUND ROOTBALL. 9. ANY GROUND COVERS INDICATED OR SPECIFIED FOR PLANTING SHALL BE PLANTED TO WITHIN 8" OF TREE OR SHRUB ROOTCROWNS AND ADJACENT HARDSCAPE ELEMENTS. INDICATED BEDS SHALL RECEIVE THOROUGH AND COMPLETE COVERAGE IN A STAGGERED GRID PATTERN. 10. SURFACE MULCH OR TOP-DRESS ALL SHRUB BEDS (EXCEPT SLOPES STEEPER THAN 4:1) WITH 2" THICK LAYER OF COMMERCIAL CEDAR OR REDWOOD SHREDDED BARK/SHAVINGS OTHERWISE KNOW IN TRADE AS "GORILLA HAIR". RECYCLED YARD OR CONSTRUCTION WOOD DEBRIS, EUCALYPTUS, SLUDGE COMPOST OR MUSHROOM COMPOST IS NOT ADVISED AS TOPDRESSING. PROVIDE SAMPLE FOR APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO DELIVERY AND INSTALLATION. 11. ALL PROPOSED PLANTING AREAS INDICATED ON PLANS SHALL BE KEPT FREE OF WEEDS AND CONSTRUCTION/INSTALLATION DEBRIS AT ALL TIMES DURING THE COURSE OF CONSTRUCTION/INSTALLATION. 12. BE ENVIRONMENTALLY RESPONSIBLE: RECYCLE AND REUSE WHEN POSSIBLE. RECYCLE ALL PLASTIC NURSERY GROWING CONTAINERS PLEASE. 13. PROPER PROJECT MAINTENANCE IS REQUIRED AFTER THE PROJECT IS COMPLETE. A LACK OF PROPER MAINTENANCE IS AREAS MAY RESULT IN DAMAGE TO PROPERTY OR PERSONS. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR THE RESULTS OF ANY LACK OF OR IMPROPER MAINTENANCE.
<p>9 JUTE MATTING EROSION CONTROL NTS</p>  <p>ENDS INTERLOCK FOR CONTINUOUS RUNS</p> <p>RECOMMENDED LAWN EDGING & GENERAL LANDSCAPE EDGING IS PERMALOC CLEANLINE ALUMINUM EDGING. EDGING IS AVAILABLE FROM:</p> <p>PERMALOC CORPORATION 13505 BARRY STREET HOLLAND, MICHIGAN 49424 USA (800) 356-9660 (616) 399-9600 (616) 399-9770 FAX</p> <p>4" (76 MM) X 3/16" (4.8 MM) BLACK ANODIZED CLEANLINE ALUMINUM EDGING IS RECOMMENDED. AVAILABLE IN 16 FT (4.9 M) SECTIONS & COME W/ 5 INTERLOCKING STAKES. SECTIONS INCLUDE 4" (102 MM) OFFSET INTERLOCKING SNAP DOWN SPLICING SYSTEM AT EACH END. WHEN ENDS ARE INTERLOCKED THEY CREATE SPLICE BTWN SECTIONS THAT HAS ONE CONTINUALLY SMOOTH SIDE. SECTIONS SHALL BE 6063 ALLOY, T-6 HARDNESS. STAKES SHALL BE 6061 ALLOY, T-6 HARDNESS.</p> <p>TOP OF STAKE LOCKS 1/8" (3.2 MM) BELOW EDGING TOP</p> <p>TOP OF EDGING SHALL BE 1/2" (12.7 MM) ABOVE FIN GRD</p>	<p>6 GROUND COVER PLANTING NTS</p>  <p>1. PLANT VINE PER SHRUB PLANTING DETAIL. REMOVE NURSERY TIES.</p> <p>2. SPREAD VINE CAREFULLY AND EVENLY ON ADJ GRND. REMOVE & DISPOSE OF NURSERY STAKE</p> <p>3. TIE VINE TO WALL OR DESIGNED OR SPEED TRELLIS W/ EQUAL SPREAD & BRANCH DISTRIBUTION. DO NOT USE MASONRY NAILS UNLESS OTHERWISE SPEC'D. WAYWARD, OR EQUAL, ADHESIVE VINE SUPPORTS ARE SUGGESTED. TIES SHALL BE EXPANDABLE, NON OBTRUSIVE OR INCONSPICUOUS</p>	<p>3 TREE PLANTING, STAKING (24" BOX, SMALLER) NTS</p>  <p>PIT WIDTH SHALL BE 2 X 5 ROOTBALL WIDTH</p> <p>ROOTBALL CROWN SHALL BE SET AT SAME HGT TO ADJ FIN GRD AS IT WAS TO SOIL IN GROWING OR NURSERY CONTAINER</p> <p>3" HIGH TEMPORARY SOIL WATERING BERM</p> <p>FINISH GRADE</p> <p>PLANTING PIT DEPTH: 2 X 5 ROOTBALL HGT</p> <p>6" MIN WATERED, TAMPED FIRM BACKFILL</p> <p>FOR ACID SOIL LOVING PLANTS (AZALEAS, CAMELLIAS, ETC.): INSTALL 3" GRAVEL DRAINAGE COURSE AT PIT BTH. COAT INTERIOR OF PLANT PIT WITH GYPSUM, AND MIX GYPSUM WITH SOIL BACKFILL. MIX BACKFILL MIX SHALL BE 100% ACID RICH SOIL MIX. PREHEMED CAMELLIA/AZALEA BACKFILL SOIL FROM BAGS OR A MIX THAT IS 50% ORGANIC MATERIAL, 30 % SAND AND 30% SOIL.</p> <p>2" THK LAYER OF MULCH</p> <p>PLANT PIT SHALL NOT HAVE SMOOTH EDGES</p> <p>TIME RELEASE FERTILIZER TABLETS: SEE SPECS</p> <p>BACKFILL MIX: AS SPEC'D. WATERED AND TAMPED FIRM. IF BACKFILL IS NOT SPEC'D: USE 75% NATIVE SOIL MIXED WITH 25% FINE FIR BARK SHAVINGS.</p> <p>FOR PLANTS WITH PLANTING ROOT SENSITIVITY OR FRAGILITY (BOUGAINVILLEA, MATILUA POPPY, ETC.) PLACE PLANT IN ITS NURSERY CAN. IN EXTRA WIDE PLANTING PIT. CUT AND REMOVE NURSERY CONTAINER BOTTOM WITH SHEARS</p> <p>OR KNIFE. NEXT, MAKE CUT DOWN TWO OPPOSITE SIDES. TOP TO BOTTOM, OF NURSERY CONTAINER. BACKFILL CAREFULLY WITH SOIL. THEN SLIDE CUT SIDES OF NURSERY CONTAINER UP AND OUT.</p> <p>© ELLBERG 1992</p>	<p>1 PLANTING SPECIFICATIONS (SHORT FORMAT) NTS</p> <p>LANDSCAPE ARCHITECT'S SEAL: STEVEN P. ELLBERG, LANDSCAPE ARCHITECT, STATE OF CALIFORNIA, No. 16889, Signature, 10-31-12, Renewal Date 11-22-17, Date</p>
<p>10 ALUMINUM EDGING NO SCALE</p>  <p>TOP OF STAKE LOCKS 1/8" (3.2 MM) BELOW EDGING TOP</p> <p>TOP OF EDGING SHALL BE 1/2" (12.7 MM) ABOVE FIN GRD</p>	<p>7 VINE PLANTING NTS</p>  <p>SPECIMEN TREE: SET TREE ROOTCROWN 2" HIGHER THAN ADJ FIN GRD.</p> <p>2" THK MULCH AS SPECIFIED</p> <p>2-3" HIGH TEMPORARY WATERING BERM</p> <p>SOIL BACKFILL</p> <p>6" MIN.</p> <p>24" MIN INTO NATIVE SOIL</p> <p>BACKFILL WITH NATIVE SOIL. WETTED AND TAMP FIRM IN LAYERS.</p> <p>FOR CONTAINER AND BALL AND BURLAP TREES 12" Ø AND LARGER.</p> <p>(3) 2" Ø X 8' STD LODGEPOLE PINE TREE STAKES. (PRESSURE TREATED.)</p> <p>AFTER INSTALLING WIRE, CUT STAKES LEVEL WITH FINISH GRADE OR TOP OF ROOTBALL.</p> <p>WIRE STAKES TOGETHER WITH #9 GALV WIRES.</p> <p>TIME RELEASE FERTILIZER TABLETS PER SPECS.</p> <p>NO SMOOTH SIDES IN PLANT PIT. PLANT PIT SHALL BE 8-10" WIDER, ALL SIDES; THAN ROOTBALL.</p> <p>IF B & B: TURN DOWN TOP 1/3 OF BURLAP</p> <p>TREE STAKES</p> <p>WIRE</p> <p>TREE TRUNK</p> <p>ROOTBALL</p> <p>IN POOR DRAINING SOILS: IT IS RECOMMENDED TO INSTALL 6" THK GRAVEL OR #2 GRD CRUSHED ROCK DRAINAGE COURSE IN PLANT PIT BOTTOM</p>	<p>4 SHRUB PLANTING NTS</p>  <p>PIT WIDTH SHALL BE 2 X 5 ROOTBALL WIDTH</p> <p>SET WITH ROOTCROWN HIGH</p> <p>WATERING BASIN CREATED BEHIND THE SHRUB OR PLANT</p> <p>TIME RELEASE FERTILIZER TABLETS: SEE SPECS</p> <p>BACKFILL MIX: AS SPEC'D. WATERED AND TAMPED FIRM. IF BACKFILL IS NOT SPEC'D: USE 75% NATIVE SOIL MIXED WITH 25% FINE FIR BARK SHAVINGS.</p> <p>PLANTING PIT DEPTH: 2 X 5 ROOTBALL HGT</p> <p>6" MIN WATERED, TAMPED FIRM BACKFILL</p> <p>PLANT PIT SHALL NOT HAVE SMOOTH EDGES</p> <p>SEE NOTES REGARDING PLANTING ROOT SENSITIVE (BOUGAINVILLEA, MATILUA POPPY, ETC.) AND/OR ACID SOIL PREFERENCE (AZALEAS) PLANT MATERIALS</p> <p>© ELLBERG 1992</p>	<p>2 SPECIMEN TREE PLANTING, GUYING NTS</p>  <p>NOTE: DUCKBILL OR EQ TREE GUYING KITS OR SYSTEMS MAY BE ACCEPTABLE. INSTALL PER MFR'S SPECIFICATIONS</p> <p>SET ROOT CROWN 3" HIGHER THAN ADJACENT FIN GRD FOR SETTLEMENT ALLOWANCE</p> <p>PLACE (3) GUY WIRES EQUAL DISTANT AROUND THE TREE (120 DEGREES BTWN EA</p> <p>2 PLY REINFORCED RUBBER PROTECTION HOSE: 1/2" CLR BTWN TRUNK & HOSE</p> <p>#10 GALV W/ ZINC COATED GUY WIRE: TYP @ 3 LOCATIONS. FIRM TENSION</p> <p>6" MIN SIDE CLEARANCE & EXCAVATION</p> <p>BACKFILL MIX AS SPEC'D. IF NOT SPEC'D: 75% NATIVE SOIL MIXED WITH 25% FINE FIR BARK SHAVINGS. WETTED AND TAMPED FIRM</p> <p>AGRIFORM, BEST TABS, OR EQUAL: TIME RELEASE FERTILIZER TABLETS: SEE SPECS: MIN 3 PER TREE</p> <p>12" THK WETTED & TAMPED FIRM BACKFILL</p> <p>4" THK DRAINAGE ROCK, DRAINAGE COURSE</p> <p>2 X 4 X 24' RDWD DEADMAN</p> <p>4-6" DIAMETER X 4FT MIN DEPTH DRAINAGE SUMP: BACKFILL WITH GRAVEL DRAIN ROCK</p> <p>OPTIONAL: BOX BTH MAY REMAIN. 90% SHADE CLOTH FILTER FABRIC BTWN ROOTBALL, BACKFILL & DRAINAGE COURSE</p> <p>© ELLBERG 1992</p>
<p>8 SPECIMEN TREE STAKING (BLW GRD) NO SCALE</p>	<p>5 SHRUB PLANTING (HILLSIDE) NTS</p>	<p>1 PLANTING SPECIFICATIONS (SHORT FORMAT) NTS</p>	<p>2 SPECIMEN TREE PLANTING, GUYING NTS</p>

REVISIONS

STEVEN P. ELLBERG LANDSCAPE ARCHITECT

STEVEN P. ELLBERG & ASSOCIATES

5533 North Bryn Mawr Street

Ventura, California 93003 U.S.A.

(805) 794-6800

sp@ellberg.com

LANDSCAPE ARCHITECT

Environmental Restoration

Water Conservation

Project Management

THE DOCUMENT CONTAINS INFORMATION PROPRIETARY TO STEVEN P. ELLBERG LANDSCAPE ARCHITECT AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT AND ITS CONTENTS ARE NOT TO BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT PRIOR WRITTEN CONSENT OF STEVEN P. ELLBERG LANDSCAPE ARCHITECT.

ALL RIGHTS RESERVED. © 2021.

LANDSCAPE: PLANTING DETAILS & SHORT FORMAT SPECS

725 SOUTH VICTORIA AVENUE VENTURA, CALIFORNIA 93003

Date

11/18/21

Scale

PER DTLS

Drawn

SPE

Job

21-1028-1

Sheet

L.4

Of

4

Sheets